



ACACIA

VILLAGE

DESIGN GUIDELINES

APPLICATION SUBMISSION

All applications are to be sent to PO Box 663, Fortitude Valley QLD 4006 OR covenant@cfmgcapital.com.au

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1.0 DESIGN & APPROVAL PROCESS

Once you have selected your new block of land at Acacia Village, it's a good idea to sit down and read through these Guidelines.

After selecting your home design, you, your builder or architect will need to submit the following plan to the Acacia Village Design Review Panel (DRP).

Plans to be submitted must include:

- Completed Application Form
- Completed Builder's Checklist
- External Colour Schedule
- House Plans: Site plan (min scale) 1:200 including: setbacks, Site Levels (contours), extent of earthworks, FFL to House and Garage. All Fencing location, material and heights. Dimensioned Floor Plans (min scale 1:100)
- All Elevations (min scale 1:100). Elevations are to include building and wall heights, roof pitches, eave size, ceiling heights and external fixtures
- Landscape Concept Plan

Email the application package in PDF format to:
covenant@cfmgcapital.com.au

House designs and plans that comply with these Guidelines will be approved without delay.

Where house designs and plans do not comply with these Guidelines the DRP will assist to identify amendments that may be required to achieve compliance.

The DRP for Acacia Village may also approve plans that do not strictly comply with these Guidelines, if they are of the opinion the house design or plans demonstrate design merit or will meet the broader objectives of the Guidelines in enhancing the urban design quality of Acacia Village.

- Read and familiarise yourself with the Acacia Village Design Guidelines
- Select or design your house plan with a builder or architect which complies with these Guidelines
- Submit your plans to the Acacia Village Design Review Panel for Developer Approval
- Once plans are stamped "approved", they will need to be submitted to a Building Surveyor for Building Approval
- Once the Building Permit is approved, construction may commence
- Front landscaping including fencing must be completed within 30 days of occupancy

2.0 PLANNING & DESIGNING YOUR NEW HOME

2.1 ALLOWABLE LAND

- Further subdivision is not permitted.
- Unless otherwise specified, only one dwelling is permitted.
- Dual occupancy permitted on allocated lots only.

2.2 CONSTRUCTION TIME

- Construction of your home must commence within 6 months of land settlement and be completed within 12 months from the date of commencement of construction.

2.3 ORIENTATION & SITING

- The correct siting and orientation of your house can result in minimising the summer heat and harnessing the winter warmth. This will result in comfortable living throughout the year and also reducing running costs.
- Private living areas are encouraged to be located on the Northern side of your land.
- Lots greater than 300m² must comply with all ResCode requirements found in the most current Building Regulations.
- Lots less than 300m² must comply with all requirements of the Small Lot Housing Code.

2.4 SETBACKS

Front Setback

- Minimum 4.0m setback required from the front street boundary to the main building line. The main building alignment is defined as the outer most projection of the building excluding: porches, porticos, balconies or similar entry features.

Side & Rear Setbacks

- Minimum 0–200mm or 1.0m setback required from the side boundaries to the dwelling as per current building regulations and housing code for applicable lot size.
- Minimum 2.0m setback required from the rear boundary to the dwelling.

Corner Setbacks

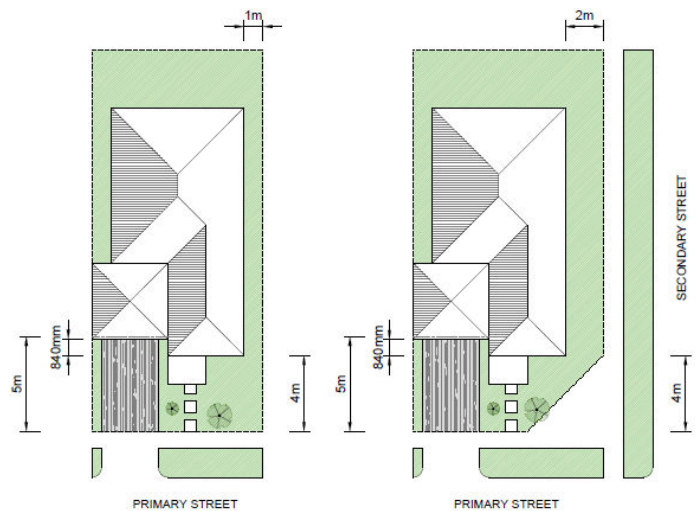
- Minimum 2.0m setback required from the secondary frontage to the dwelling.

Build to Boundary Requirements

- Built on boundary housing is permitted on the garage side of housing designs with a maximum continual wall length of 9m unless prior approval by DRC. All approvals submitted will be considered in line with current building regulations and the applicable small lot housing code.

Garage Setbacks

- Garages must be setback a minimum 5.0m from the front street boundary and a minimum 840mm from the main building alignment of the dwelling. The main building alignment is defined as the outer most projection of the building excluding: Porches, Porticos, Balconies or similar entry features.



2.5 DWELLING SIZE

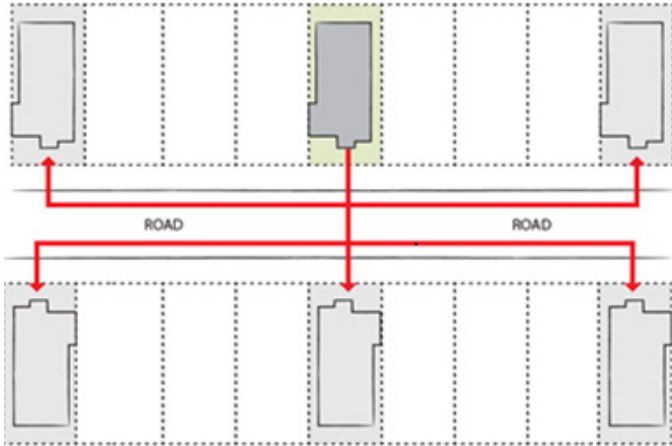
- For lots less than 300m², the minimum dwelling size is 100m² - excluding garage, porch, verandah, pergola, balcony or alfresco areas.
- For lots between 300m² - 450m², the minimum dwelling size is 120m² - excluding garage, porch, verandah, pergola, balcony or alfresco areas.
- For lots greater than 450m², the minimum dwelling size is 150m² - excluding garage, porch, verandah, pergola, balcony or alfresco areas.

2.6 CEILING HEIGHTS

Minimum 2550mm ceiling heights are required to all single storeys and ground floor of double storeys.

2.7 FAÇADE REPLICATION

- Two dwellings with similar facades are not permitted to be constructed within 3 lots on either side and directly opposite.
- Each home must have its own distinct feature elements that distinguish it from their neighbouring sites.



2.8 ARCHITECTURAL STYLE

- To ensure that high quality designs and finishes are used at Acacia Village, dwellings should have a modern contemporary style and facade.
- Decorative elements such as turned posts, finials and fret work should be minimised. All mouldings should be square or rectangular.
- Dwellings are encouraged to incorporate a high level of articulation to provide interesting streetscapes.

2.9 SUSTAINABILITY

The dwelling should be designed to minimise the impact on the environment, particularly by limiting the overall energy and water consumption for the household. All homes are required to achieve the minimum legislative energy efficiency requirements.

Consideration should be given to other methods which may assist to further decrease the energy consumption of your home.

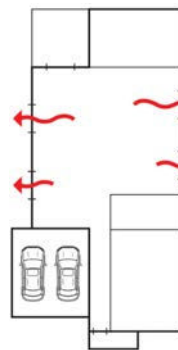
Consideration of the following principles are strongly encouraged:

- Where possible orientate living area to the north;
- Design to take advantage of passive solar heating and cooling by maximising north facing walls and glazing & providing reasonable shading of north facing windows;

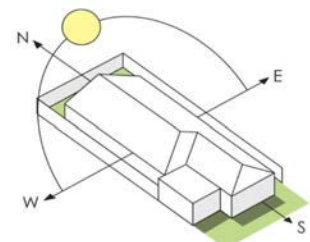
- Minimise east and west orientated glazing;
- Incorporate eaves to the roof design;
- Orientate your home to catch prevailing breezes and take advantage of cross ventilation (including internal doors);
- Consider landscaping to provide shade;
- Zoning of areas within the home so heating and cooling is provided only when required;
- All dwellings are encouraged to be designed and built to achieve a 10-20% reduction in greenhouse gas emissions in line with the relevant rating tools such as Green Star (GBCA), NABERS and AccuRate;
- It is strongly encouraged that all internal light fittings such as but not limited to down lights, pendants, wall mounts allow for compact fluorescents or LED.

Consideration of the following principles are strongly encouraged:

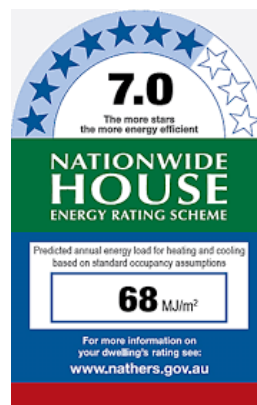
- Where possible, purchase appliances with Water Efficiency Labelling, the more stars the more water you will save;
- Incorporate water saving tap ware to all wet areas;



Ventilation



Orientation



House Energy Rating —
Minimum 6-Stars



Energy Rating for home appliances
The more stars the better

3.0 BUILDING APPEARANCE

3.1 ENTRY FEATURES

- An entry feature must be incorporated into the façade design of the home.
- The entry feature must be a suitable substantial covered structure such as a portico, porch or balcony.
- The entry must be clearly visible with direct access from the street frontage.
- The area of an entry must achieve a minimum 4m². The calculation of both the size and area dimensions can include the entry recess. Eaves are not to be included in the area calculation.
- Entries must be located on the main street frontage façade. Except where the lot falls under the Small Lot Housing Code.



3.2 MATERIALS

- The facade must incorporate a minimum of 3 different materials. A minimum of 20% of the façade must be a feature material other than brickwork. Feature materials are to be designed as a contrast to the brickwork. Suggested feature materials are:
 - Render;
 - Cladding;
 - Stacked stone.
- Materials used on the façade must return a minimum 1.0m on non-corner lots.
- Materials used on the façade must return to the fence line on all corner/reserve lots.
- The front façade of dwellings on lots 16m wide or greater must have a minimum of two rooms with windows facing the main street frontage.
- Unpainted metalwork is not permitted.
- Downpipes, Gutters and Fascia must be colour coordinated with the remainder of the façade.



Cladding



Render



Stack Stone



Bricks

3.3 ROOF

- Pitched, Skillion & Gable roof forms are strongly encouraged.
- Where the roof is pitched the pitch must be a minimum 22°.
- Flat roofs are permitted under architectural merit.
- Roofs must be constructed from terracotta, slate or concrete tiles.
- Colorbond roofing is permitted. Zincalume corrugated iron sheeting is prohibited.
- Roof colours are to be of neutral tones.
- Dwellings must have eaves with a minimum depth of 450mm to all facades visible to the street.
- Eaves must return a minimum 1.0m on all non-corner allotments and the full length to all corner/reserve allotments.
- Eaves are not required where a parapet wall is constructed or the home/garage wall is built to the boundary.

3.4 COLOURS

- The external colour scheme of your home should be neutral tones that blend in with the surrounding environment.
- Muted tones are preferred.
- Galvanised steel or reflective finishes are not permitted.

3.5 TREATMENT ON CORNER LOTS

- Secondary frontages that face a side street or reserve must flow with consistent material and finishes as used on the primary façade. Ideally the façade feature used on the primary façade would continue on the secondary façade.
- The side street elevation facing either a corner or reserve must include:
 - Feature windows matching the style of the windows on the front façade. Windows alone will not be a satisfactory solution for corner treatment;
 - A design feature is required to accompany the matching windows;
 - The same materials and colours;
 - Highlight windows are discouraged.
- Treatment to the secondary frontage must return along the boundary to meet the fence line.
- Windows on the first floor of double storeys should all match in style.
- Blank walls facing the side street are not permitted.



Skillion



Gable



Pitched



3.6 DUAL OCCUPANCY

- Dual occupancy homes are permitted on allocated lots. Each development is required to conform to the Acacia Village Design Guidelines set-out in this document and the Plan of Subdivision restrictions. Furthermore, the below requirements are to be adhered to and will replace the specific requirements within.
- The façade of each dwelling must incorporate similar aspects. (Replaces 2.6)
- An entry feature is required to have a minimum depth and width of 1.0m. (Replaces 3.1)
- Materials including eaves used on the façade must return a minimum 450mm. (Replaces 3.2)
- Where one dwelling faces the side street, corner treatment is required to return along the side street elevation to meet the fence line. (Replaces 3.5)



3.7 GARAGES

- Garage openings must be no more than 40% of the width of the lot frontage. In the case of a double storey dwelling on a lot with a frontage of less than 12m, a garage opening must not exceed 25% of the area of the front façade of the dwelling.
- Garage doors facing a street frontage must be sectional overhead or panel style and colour coordinated with the dwelling. Roller Doors are not permitted where visible.
- Triple garages are permitted where the lot width is 16m or greater. The third garage must be setback a minimum 840mm from the double garage.
- Carports are only permitted where they cannot be seen by the public.



Slimline



Sectional



Tilt Panel

3.8 DRIVEWAYS

- Driveways must be fully constructed within 14 days of occupancy.
- Acceptable driveway construction materials are: coloured concrete, brick or concrete pavers, exposed aggregate.
- Plain concrete driveways and front paths are not permitted.
- The driveway shall be no wider than the total width of the garage and tapers to match the width of the crossover.
- A minimum 500mm Landscape strip is required between the driveway and the side boundary.
- Only one driveway is permitted per lot. Excludes dual occupancy construction.
- Crossover relocations are permitted with the approval from the Relevant Authority. All costs associated with the crossover relocation are at the lot owner's expense.



Brick Pavers



Exposed Aggregate



Coloured Concrete

3.9 FENCING

Side, Return & Rear Boundary Fencing

- Side, return and rear boundary fences behind the building alignment are required to be 1.8m in height and constructed from Colorbond® in colour 'Woodland Grey®' and profile 'Good Neighbour Superdek®'.
- Side fences along common lot boundaries must be located 1.0m behind the building line of the home which faces the primary frontage.

Fencing on Corner or Reserve Lots

- Side fences along a secondary frontage are required to be 1.8m in height and constructed from Colorbond® in colour 'Woodland Grey®' and profile 'Good Neighbour Superdek®'.
- Side fences along corner or reserve boundaries must be located 4.0m behind the main building line.

Front Boundary Fences

- Front fencing must be of an open style nature.
- Post and or piers of the front fence must not exceed 1.2m in height. Inserts must not exceed 1.0m.
- Materials must be of :
 - Piered brick or masonry piers with steel, timber or aluminium slat infill;
 - Post and railing with decorative pickets.



4.0 LANDSCAPING

4.1 FRONT YARD LANDSCAPING

Landscaping plays an integral part in assisting to soften the built form of the streetscape. It is also a useful element in providing privacy screening and shade during summer. The selection should embrace the natural selection with native plants that reflect the Wollert landscape. Indigenous plants will thrive in the local climate and require less watering than other species.

- Impermeable areas (hard surfaces) should not dominate front yard designs and should be limited to essential areas such as driveways and pathways;
- 60% of the front landscape should be vegetated garden beds, turf and permeable surface materials.
- The following must be provided within your front yard landscape:
 - 2 canopy trees with a minimum span of 4m at mature age (300mm–400mm pots);
 - 40 Shrub like plant (150mm pots); and
 - 20 groundcovers (tubestock size minimum)
- Garden beds should be mulched and where mulch is used, it must be natural in colour.
- Turf should be warm season species. Synthetic grass where visible is not permitted.
- It is the responsibility of the lot owner to establish and maintain turf on nature strips. No crushed rock or Lilydale toppings permitted.
- Front gardens must be fully landscaped within 30 days of the completion of the construction of your home.
- Water saving techniques, including but not limited to plant selection, drip irrigation, recycled water use and mulching of garden beds, should be utilised where possible.
- Letterboxes are required to be constructed in accordance with Australia Post standards. No Single Post letterboxes permitted.

Information on Indigenous planting for your local area can be found at:

www.whittlesea.vic.gov.au/media/1247/indigenous-plant-list.pdf



4.2 SHEDS & OUTBUILDINGS

- If less than 10m² in area, sheds and outbuildings must not be visible to the public;
- If greater than 10m² in area, sheds and outbuildings must match or complement the appearance of your home with materials and colours.

4.3 SCREENING

- Ancillary structures and elements must not be visible to the public. This includes but is not limited to:
 - External hot water units;
 - Ducted heating units;
 - Rainwater tanks;
 - Clotheslines;
 - Swimming pools;
 - External plumbing other than for rainwater tanks and downpipes;
 - Satellite dishes and TV aerials.
- Boats, caravans, trailers, commercial vehicles with a capacity of 2.5 tonne or greater or other recreational vehicles are not permitted to be parked on your property unless they are screened from public view.
- Air conditioning units are to be located away from public view. Any roof mounted air conditioners or evaporative cooling units should be located to the rear of the house, be of low profile and installed below the ridgeline. They should be colour coordinated to match the roof.
- Conduit used for electrical, gas, water & communication services must be no higher than 600mm from natural ground level and preferably not visible from public view.
- Solar panels should be located on the elevation that provides the most suitable solar access. They are not permitted on the façade elevation facing the primary frontage unless approval from the Responsible Authority.



5.0 CONNECTIONS

5.1 RECYCLED WATER

- Acacia Village will provide infrastructure to enable supply of recycled water by Yarra Valley Water. All homes must include fittings and connections to the Acacia Village Recycled Water system, as specified by Yarra Valley Water.

5.2 NATIONAL BROADBAND NETWORK (NBN)

- Acacia Village will provide infrastructure to support telephone and high speed internet over the NBN. Ensure your builder is familiar with the home wiring requirements of the NBN.

6.0 DURING CONSTRUCTION

6.1 SIGNAGE

- Signage and hoarding boards advertising businesses and products are not permitted. Builders' signs of a maximum 600mm x 600mm are permitted as required on lots during the course of construction and must be removed upon completion of construction.

6.2 TEMPORARY STRUCTURES

- Builders' structures such as site sheds, site toilets, power generators and security cameras are permitted as necessary on lots during the course of construction and must be removed upon completion of construction.



7.0 LOT MAINTENANCE

- Under the Whittlesea Building Code a person undertaking building works must provide the following:
 - A toilet;
 - A rubbish container;
 - Site fencing;
 - Site identification.
- A person undertaking building works must ensure all litter and building waste must be secured in a skip or a cage with a lid to prevent it from blowing away. It must be emptied during, and at the end of construction.
- A person undertaking building works or the operator of any vehicle associated with such works must not allow sediment, slurry, mud, clay or debris from the building site to be deposited in or on any public place or road.
- A person undertaking building works must notify Council in writing before the commencement of the works of any damage to any road or other Council assets likely to be affected by the works (Damage to any of these assets which exists after the completion of the building works will be deemed to be caused by and must be repaired by the person undertaking the building works.)
- Dumping of rubbish (including building materials and site excavation material) on vacant allotments is illegal.
- Grass and weed growth on vacant allotments is the responsibility of the property owner. Regular slashing or mowing of the grass must be maintained by the property owner. Property owners who don't comply with this requirement could receive a fine from Whittlesea Council.
- Council's Authorised Officers can take enforcement action if the Local Law is breached. Notices to Comply can be served requiring a bin or toilet to be placed on the land and Penalty Notices can be issued for committing the offence of not providing the bin or toilet.

For more information on local laws and penalties relating to building sites refer to Whittlesea Council's website:

www.whittlesea.vic.gov.au



8.0 APPLICATION FORM

Acacia Village Design Approval Application Form

Complete the application form and provide with your submission for Developer Approval.

Lot Number	
Owner's Name	
Current Post Address	
Contact Number	
Builder's Name	
Contact Name & Number	

Documents required to be submitted for approval to the Acacia Village Design Review Panel (A3 Size):

- Completed Application Form
- Completed Builder's Checklist
- External Colour Schedule
- House Plans: Site plan (min scale) 1:200 including: setbacks, Site Levels (contours), extent of earthworks, FFL to House and Garage. All Fencing location, material and heights. Dimensioned Floor Plans (min scale 1:100)
- All Elevations (min scale 1:100). Elevations are to include building and wall heights, roof pitches, eave size, ceiling heights and external fixtures
- Landscape Concept Plan

9.0 BUILDER'S CHECKLIST

ITEM	YES	NO	N/A
One dwelling per lot			
Subdivision not permitted			
Dual Occupancy permitted on allocated lots			
Dwelling will commence construction within 6 months of settlement and be completed within 12 months from construction commencement			
Setbacks comply with relevant regulations—ResCode or Small Lot Housing Code			
Lots under 300m ² minimum dwelling size is 100m ²			
Lots between 300m ² - 450m ² minimum dwelling size is 120m ²			
Lots greater than 450m ² minimum dwelling size is 150m ²			
Minimum ceiling height is 2550mm to single storey or ground floor of double storey homes			
The same façade not used within 3 lots of one another			
Modern contemporary façade			
Decorative elements kept at a minimum			
Mouldings are square or rectangular in style			
Dwelling has been designed to minimise the impact on the environment and to achieve the minimum legislative energy efficiency requirements			
Entry feature incorporated into façade, clearly visible with direct access from the street frontage			
Entry area is a minimum 4m ²			
A minimum 3 materials have been used on the façade			
A minimum 20% of the façade has a feature material other than brickwork			
Materials used on the façade return 1.0m on non-corner lots			
Materials used on the façade return to the fence line on corner lots			
Two rooms with windows are provided on the façade on lots with a width greater than 16m			
Unpainted metalwork has not been used			
Downpipes, gutters and fascia are colour coordinated with the dwelling			
Pitched, skillion or gable roof style used			
Roof pitch is a minimum 22°			
Roofing material is either: terracotta, slate or concrete tiles, colorbond			
Zincalume corrugated iron has not been selected			
Roof colour is neutral in tone			
Minimum 450mm eaves are provided to the façade with a minimum 1.0m return on non-corner lots and full length on secondary frontage			
External colour scheme is neutral in tone			
Galvanized steel or reflective finishes have not been used			
Consideration has been given to the elevation on the secondary frontage			
Feature windows match those used on the primary façade			
A design feature has been provided to the secondary frontage			

ITEM	YES	NO	N/A
Corner treatment returns to the fence line			
No blank walls where visible			
Dual occupancy permitted on selected lots and complies with guidelines			
Garage is setback a minimum 840mm behind the main building line			
Minimum one car lock up garage			
Garage opening does not exceed 40% of the lot width			
Double storey garage on lots 12m or less does not exceed 25% of the façade area			
Sectional overhead or panel lift doors used on garage where visible			
Triple garage permitted on lots with a width greater than 16m			
Carport is not visible to the public			
Driveway will be constructed with 14 days of dwelling occupancy			
Driveway constructed from coloured concrete, brick or concrete pavers or exposed aggregate			
Driveway is no wider than the garage and tapers to the crossover width			
Minimum 500mm landscape strip provided including dimension			
One driveway only, excluding dual occupancy			
Council consent provided for crossover relocation			
Side, return and rear boundary fences are behind the building alignment and constructed of 1.8m high Colorbond® Good Neighbour Superdek® in colour 'Woodland Grey®'.			
Side fences along common lot boundaries are a minimum 1.0m behind the building line of the dwelling			
Side fences along a secondary frontage are 1.8m high Colorbond® Good Neighbour Superdek® in the colour 'Woodland Grey®'			
Side fences along corner or reserve boundaries are 4.0m behind the building line.			
Front fencing is of an open style nature. And constructed of post and or piers of the front fence must not exceed 1.2m in height. Inserts must not exceed 1.0m in materials of piers brick or masonry piers with steel, timber or aluminium slat infill; Post and railing with decorative pickets			
Impermeable areas do not dominate the front yard			
60% of the front is garden beds, turf and permeable surface			
2 canopy trees have been provided			
40 shrubs have been provided			
20 groundcovers have been provided			
Where mulch is used it is in natural colours			
Crushed rock or Lilydale topping has not been used on nature strips			
Landscape will be completed within 30 days of occupancy			
Letterbox is not a single post			
Sheds or outbuildings less than 10m ² are not visible to the public			
Sheds or outbuildings greater than 10m ² are constructed with materials and colour that complement the dwelling			
Air conditioning units are not visible to the public. They are low profile and colour coordinated with the roof			
Solar panels are not located on the front facade			
The dwelling will be connected to Recycled Water			
The dwelling will be NBN ready			



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VILLAGE

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