

CIVIL WORKS

CITY OF WHITTLESEA

405 EPPING ROAD, WOLLERT VIC 3750

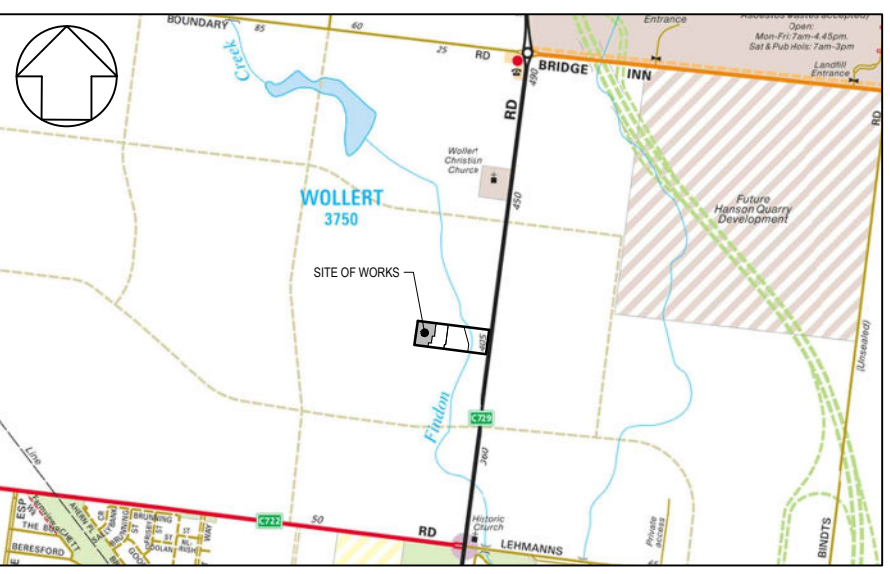
STAGE 1

GENERAL NOTES

- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH EDM GUIDELINES, CITY OF WHITTLESEA SPECIFICATIONS AND STANDARD DRAWINGS. WORKS SHALL BE CARRIED OUT TO THE SATISFACTION OF THE SUPERINTENDENT OR HIS/HER REPRESENTATIVE.
- THE COUNCIL AND ALL SERVICE AUTHORITIES SHOULD BE NOTIFIED BY THE CONTRACTOR, IN WRITING, SEVEN DAYS PRIOR TO COMMENCEMENT OF THE WORKS. ALL EXISTING SERVICES IN THE VICINITY OF THE WORKS ARE TO BE LOCATED PRIOR TO COMMENCEMENT.
- THE CONTRACTOR SHALL ENSURE THAT NO POLLUTANT OR SEDIMENT LADEN RUNOFF IS DISCHARGED DIRECTLY OR INDIRECTLY INTO ANY DRAINS OR WATER COURSES AND THAT WORKS CONFORM TO THE ENVIRONMENTAL MANAGEMENT PLAN.
- RUNOFF FROM AREAS ON WHICH EARTHWORKS ARE CARRIED OUT MUST BE COLLECTED AND TREATED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY BY THE USE OF OPEN DRAINS, FILTRATION TRAPS AND RETARDING BASINS IN THE PERIOD BETWEEN THE COMMENCEMENT OF CONSTRUCTION WORKS AND THE END OF THE MAINTENANCE PERIOD IN ACCORDANCE WITH THE ENVIRONMENT MANAGEMENT PLAN FOR THE SUBDIVISIONAL CONSTRUCTION WORKS.
- THE CONTRACTOR SHALL COMPLY WITH ALL OCCUPATIONAL HEALTH AND SAFETY PROCEDURES AND REQUIREMENTS.
- AT LEAST 3 DAYS BEFORE COMMENCING EXCAVATION OF TRENCHES IN EXCESS OF 1.5m DEPTH, A COMPLETED "NOTICE OF INTENTION TO COMMENCE TRENCHING OPERATIONS" FORM SHALL BE SENT TO WORKSAFE VICTORIA. THE NOMINATED SUPERVISOR SHALL BE SUITABLY QUALIFIED IN ACCORDANCE WITH THE VICTORIAN OHS ACT 1985 & COMMONWEALTH OHS CODE OF PRACTICE 2008.
- THE CONTRACTOR SHALL ERECT AND MAINTAIN ALL SHORING, PLANKING AND STRUTTING, DEWATERING DEVICES, BARRICADES, SIGNS, LIGHTS, ETC., NECESSARY TO KEEP WORKS IN A SAFE AND STABLE CONDITION AND FOR THE PROTECTION OF THE PUBLIC.
- ALL TREES AND SHRUBS ARE TO BE RETAINED UNLESS APPROVAL IS GIVEN BY COUNCIL'S LANDSCAPE OFFICER OR REMOVAL HAS BEEN GRANTED IN A PLANNING PERMIT.
- DISPOSAL OF EXCESS SOIL- TRUCK ROUTE AND DISPOSAL LOCATION SHALL BE APPROVED BY THE SUPERINTENDENT.
- ALL AREAS SHOWN ON THE DRAWINGS TO BE CUT OR FILLED ARE TO BE STRIPPED OF TOPSOIL TO A DEPTH AS SPECIFIED IN GEOTECHNICAL REPORT PREPARED BY GEOTESTA 2 SEPTEMBER 2019, REPORT NO. GE6550-19. UPON COMPLETION OF THE BULK EARTHWORKS, THE TOPSOIL IS TO BE SPREAD TO A DEPTH OF 100mm OVER THE AREA AND GRADED TO FINISHED LEVELS SHOWN ON THE DRAWINGS AND TO THE SATISFACTION OF THE SUPERINTENDENT. ALL FILLING ON LOTS IN EXCESS OF 300mm IS TO BE CARRIED OUT IN ACCORDANCE WITH A.S 3798 APPENDIX B, SECTION B2(A) 'LEVEL 1'. AT COMPLETION, THE CONTRACTOR SHALL PRESENT A SOIL REPORT FROM A N.A.T.A TESTING AUTHORITY, NOMINATING THE EXTENT OF FILL AND ITS CONFORMANCE WITH THE SPECIFICATION. FILLING TO BE CARRIED OUT USING APPROVED MATERIAL. TOPSOIL AND ALL VEGETABLE MATERIAL TO BE STRIPPED FROM FILL SITE PRIOR TO ANY PLACEMENT OF MATERIAL. ALL FILLING IS TO BE COMPACTIONED IN 150mm MAX. DEPTH LAYERS TO 95% OF AS1289.5.1.1 (STANDARD COMPACTION).
- ALL STORMWATER DRAINS ARE TO BE CLASS 2 RC OR FRC PIPES UNLESS OTHERWISE SHOWN. ALL RC PIPES UP TO AND INCLUDING 750mm DIA. ARE TO BE RUBBER RING JOINTED, INTERLOCKING / FLUSH JOINTS WITH EXTERNAL BANDS MAY BE USED ON PIPES OVER 750mm DIA. WITH APPROVAL FROM CITY OF WHITTLESEA.
- TELECOMM. CONDUITS AND CABLE DUCTS WILL BE LAID IN TRENCHES EXCAVATED AND BACKFILLED BY THE CONTRACTOR. THE CONTRACTOR SHALL GIVE THE TELECOMM. AUTHORITY AREA ENGINEER 7 DAYS NOTICE PRIOR TO COMMENCING WORK.
- 100mm DIAMETER AGRICULTURAL DRAINS TO BE CONSTRUCTED BEHIND ALL KERB AND CHANNEL IN ACCORDANCE WITH EDM 202 AND LAID AT A MINIMUM OF 300mm BELOW SUBGRADE OF ROAD PAVEMENT WITH CLEARANCE TO ALL SERVICE CONDUITS.
- WHERE DRAINAGE PIPES ARE LAID ON A CURVE THE BUILDING LINE IS TO BE PEGGED AT 15m INTERVALS.
- THE REINSTATEMENT AND COMPACTION OF SERVICE AUTHORITY TRENCHES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL P.S.M.s SHALL BE HIGH STABILITY TYPE AND LEVELLED BY A LICENSED SURVEYOR AND THE P.S.M. DATA SHALL BE FORWARDED TO COUNCIL.
- ALL CONDUIT ENDS SHALL BE PLUGGED WITH DRAW WIRE AS APPROPRIATE.
- ALL DRAINAGE TRENCHES WITHIN 5.0m OF ANY TREE TO BE RETAINED SHALL BE THRUST BORED OR HAND DUG.
- FILL MATERIAL UNDER ROAD PAVEMENT SHALL BE APPROVED MATERIAL AND CONSTRUCTED IN LAYERS OF 150mm THICKNESS WITH COMPACTION ACHIEVING 98% (STANDARD COMPACTION) AT A MOISTURE RATIO OF 90% TO 110% OF AS1289.5.1.1
- ALL LINEMARKING AND SIGNAGE SHALL BE IN ACCORDANCE WITH AS1742.1 AND AS1742.2. LONG LIFE PAINT SHALL BE USED FOR LINEMARKING.
- ALL ELECTRICITY CONDUITS ARE TO BE A MINIMUM 63mm DIAMETER. ALL TELSTRA CONDUITS ARE TO BE A MINIMUM 100mm DIAMETER. REFER TO ELECTRICAL AND TELECOMMUNICATION PLANS FOR DETAILS.
- THE CONTRACTOR SHALL NOTE THE EXISTENCE OF TELECOMMUNICATIONS, GAS POWER, WATER AND ANY OTHER SERVICES IN THE AREA PRIOR TO TENDERING / CONSTRUCTION.
- ANY DISTURBANCE TO EXISTING INFRASTRUCTURE DUE TO CONSTRUCTION WORKS SHALL BE RECTIFIED AT THE CONTRACTOR'S EXPENSE.
- ALL NATURE STRIPS AND BATTERS SHALL BE COVERED WITH 100mm MIN. DEPTH TOPSOIL AND SEEDED WITH AN APPROVED SEED AND FERTILIZER MIXTURE AS PER GAA GUIDELINES.
- CONDUITS UNDER FOOTPATHS TO BE 450mm DEEP EXTENDING 250mm EITHER SIDE OF THE PATH THE FOOTPATH ABOVE THE CONDUITS SHALL BE MARKED WITH TWO CONTRACTION JOINTS OVER THE CONDUITS 400mm APART.
 - CONDUITS SHALL BE REFERENCED ON BOTH FOOTPATH AND KERB & CHANNEL.
 - CONDUITS INSTALLED UNDER ROAD PAVEMENTS SHALL EXTEND 1 METRE INSIDE THE ALLOTMENTS WHERE FOOTPATH IS PROPOSED.
 - GAS TO BE 50mm DIA. CLASS 12 PVC & WATER CONDUIT TO BE DN100 SINGLE CONDUIT CONTAINING BOTH DW & NDW SERVICES LAID IN ACCORDANCE WITH WSA 03-2011-3.1 AND DRAWING MRWA-W-202 & MRWA-W-110.
- UPON COMPLETION OF THE WORKS THE WHOLE SITE SHALL BE CLEANED AND ALL RUBBISH REMOVED. LOTS ARE TO BE GRADED EVENLY AND THE SITE LEFT IN A CLEAN AND TIDY CONDITION TO THE SATISFACTION OF THE SUPERINTENDENT.

- NO TOPSOIL SHALL BE REMOVED FROM THE SITE.
- INSPECTIONS SHALL BE ARRANGED A MINIMUM OF 24 HOURS BEFORE WITH COUNCIL'S ASSETS ENGINEER.
- STREET SIGNS SHALL BE MANUFACTURED IN ACCORDANCE WITH CITY OF WHITTLESEA STANDARDS INCLUDING LOGO AND TO COMPRISE TWO FINGER BOARDS.
- 24 HOURS NOTICE IS REQUIRED FOR INSPECTION AT THE FOLLOWING HOLD POINTS:
 - PRIOR TO COMMENCEMENT OF THE WORKS.
 - INSPECTION OF THE SUBGRADE.
 - INSPECTION DURING DRAINAGE WORKS.
 - INSPECTION PRIOR TO POURING OF PITS.
 - INSPECTION OF SUB SOIL DRAINAGE.
 - INSPECTION OF KERB AND CHANNEL BEDDING.
 - INSPECTION PRIOR TO ANY CONCRETE WORKS.
 - INSPECTION AND TESTING OF EACH PAVEMENT LAYER (BY DEVELOPER OR CONTRACTOR) PRIOR TO PLACING ANY SUBSEQUENT PAVEMENT LAYER. COMPACTION TEST RESULTS SHALL BE ISSUED TO COUNCIL.
 - INSPECTION PRIOR TO SEALING AND ASPHALT WORKS.
- COUNCIL WILL NOT ACCEPT ANY RESPONSIBILITY FOR WORKS WHERE AN INSPECTION IS NOT UNDERTAKEN WITH A COUNCIL APPOINTED REPRESENTATIVE.
- ALL DIMENSIONS ARE IN METRES AND RADII TO LIP OF KERB UNLESS OTHERWISE SHOWN.
- LEVELS ARE TO A.H.D. AND TAKEN FROM LEVEL PLANS BY TAYLORS DEVELOPMENT STRATEGISTS. SETOUT CO-ORDINATES ARE BASED ON MGA ZONE 55.
- PITS SHALL BE LOCATED USING OFFSETS AND CO-ORDINATES SHOWN ON DRAWINGS.
- ALL DRAINS BENEATH ROAD PAVEMENT, PATHS, DRIVEWAYS AND PARALLEL TO KERB SHALL BE BACKFILLED WITH 20mm CLASS 2 F.C.R. ALL BACKFILLING TO BE COMPACTIONED TO 98% OF AS1289.5.1.1 (STANDARD COMPACTION). DRAINS BEHIND THE BACK OF KERB SHALL BE BACKFILLED USING SELECT FILL. COMPACTION OF THE DRAINAGE LINE SHALL BE 95% STANDARD COMPACTION TO AS1289.5.1.1 AND ALL TEST RESULTS SHALL BE SUBMITTED TO COUNCIL.
- HOUSE DRAINS SHALL GENERALLY BE PLACED 5.5m FROM THE LOW CORNER OF THE LOT, AS PER EDM 701 AND PROPERTY INLETS 1.0m FROM AND 0.6m BELOW THE LOW CORNER OF THE LOT, UNLESS OTHERWISE SHOWN.
- ALL PROPERTY INLETS ARE TO HAVE A MINIMUM DEPTH OF 500mm BELOW FINISHED LEVEL.
- HOUSE NUMBERS TO BE STENCILED ON THE FACE OF KERB IN 100mm HIGH LETTERS.
- EXISTING OPEN CHANNELS TO BE EXCAVATED TO A FIRM BASE AND BACKFILLED IN ACCORDANCE WITH NOTE 10. CONSULTING ENGINEER TO BE NOTIFIED WHEN THE OPEN CHANNELS HAVE BEEN EXCAVATED TO A FIRM BASE. NO FILLING IS TO BE PLACED PRIOR TO BASE BEING INSPECTED AND LEVELS TAKEN. BACKFILLING IS TO BE CARRIED OUT TO THE SATISFACTION OF THE SUPERINTENDENT.
- ALL PAVEMENT MATERIALS ARE TO BE APPROVED BY CITY OF WHITTLESEA.
- ALL PAVEMENTS ARE TO BE TESTED FOR ADEQUATE COMPACTION AND APPROVED PRIOR TO CONTINUING WORKS.
- PRIOR TO THE ISSUE OF A STATEMENT OF COMPLIANCE, ALL NEWLY CONSTRUCTED ROADS, FOOTPATHS AND DRAINAGE ASSETS ARE TO BE RECORDED UNDER THE "D-SPEC" & "R-SPEC" SYSTEM AS SETOUT IN THE GAA GUIDELINES AND THE RESULTS PROVIDED TO CITY OF WHITTLESEA.
- NO FILL OR EXCAVATED MATERIAL FOR OR FROM THIS DEVELOPMENT IS TO BE CARTED/HAULED INTO OR FROM THE SITE, WITHOUT FIRST OBTAINING THE FURTHER WRITTEN CONSENT FROM COUNCIL'S ENGINEERING DEPARTMENT AT LEAST SEVEN (7) DAYS PRIOR TO THE CARTAGE/HAULAGE WORKS COMMENCING, TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- ALL EARTHWORKS MUST BE UNDERTAKEN IN A MANNER THAT MINIMISES SOIL EROSION, AND ANY EXPOSED AREAS OF SOIL MUST BE STABILISED TO PREVENT SOIL EROSION TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- EROSION MUST BE CONTROLLED DURING CONSTRUCTION IN ACCORDANCE WITH THE ENVIRONMENT PROTECTION AUTHORITY GUIDELINE TG208/90. CONTRACTOR TO PROVIDE SITE EMP.
- ALL VEGETATION THAT IS REMOVED AND DISPOSED OF MUST:
 - NOT CAUSE DAMAGE TO VEGETATION STANDS TO BE RETAINED.
 - HAVE REGARD TO THE LOCAL LAW WHEN BURNING VEGETATION.
- NATIVE VEGETATION REMOVAL TO BE LIMITED TO THE SPECIFIC PLANTS IDENTIFIED AS PART OF THE PLANNING PERMIT. NO ADDITIONAL NATIVE PLANTS, OUTSIDE OF THOSE SPECIFIED IN THE PLANNING PERMIT, ARE TO BE REMOVED.
- NO POLLUTED AND/OR SEDIMENT LADEN RUNOFF IS TO BE DISCHARGED, DIRECTLY OR INDIRECTLY, INTO MELBOURNE WATER'S DRAINS OR WATERCOURSES.
- BEFORE THE VEGETATION REMOVAL STARTS, THE BOUNDARIES OF ALL VEGETATION TO BE REMOVED AND RETAINED MUST BE CLEARLY MARKED WITH TEMPORARY FENCING, TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY. THE REMOVAL MUST BE IN ACCORDANCE WITH THE ENDORSED PLAN.
- PRIOR TO FELLING, TREES IDENTIFIED FOR REMOVAL MUST BE EXAMINED FOR THE PRESENCE OF FAUNA, INCLUDING THOSE USING EXTERNAL NESTS (e.g. COMMON RINGTAIL POSSUMS, BIRDS NESTS) AND TREE HOLLOWES. IF NATIVE FAUNA SPECIES ARE LOCATED, THEY ARE TO BE SALVAGED AND RELOCATED IN ACCORDANCE WITH ALL RELATIVE LEGISLATION AND APPROVALS, FURTHER TO CONSULTATION WITH THE DEPARTMENT OF SUSTAINABILITY AND ENVIRONMENT.
- ALL VEHICLES, EARTHMOVING EQUIPMENT AND OTHER MACHINERY MUST BE CLEARED OF SOIL AND PLANT MATERIAL BEFORE ENTERING AND LEAVING THE SITE, TO PREVENT THE SPREAD OF WEEDS AND PATHOGENS
- DRIVEWAYS TO BE EXCAVATED INTO ALLOTMENTS AT A MAXIMUM GRADE OF 1 IN 5 WHERE BATTERS EXCEED 600mm.
- DRIVEWAY LAYBACK AND WINGS ARE TO BE CONSTRUCTED AS A SINGLE SEGMENT OF CONCRETE.
- ALL NBN PITS ARE TO BE CLEAR OF PATHS AND DRIVEWAYS.
- CONTRACTOR TO PROVIDE CCTV TESTING ON ALL CONSTRUCTED DRAINAGE LINES AND TO BE APPROVED BY COUNCIL PRIOR TO THE ISSUE OF STATEMENT OF COMPLIANCE.
- ALL RESIDENTIAL AND HEAVY DUTY DRIVEWAYS TO BE CONSTRUCTION ACCORDING TO MPA STANDARD DRAWINGS.

DRAWING INDEX		
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LOCALITY PLAN
SCALE N.T.S.
MELWAYS REF MAP 389 C10

SERVICE OFFSET TABLE												
STREET	GAS		RECYCLED WATER (NDW)		POTABLE WATER (DW)		TELECOMS		ELECTRICAL CABLES		SEWER	
	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET	SIDE	OFFSET
COTTONWOOD DRIVE	SOUTH	2.10M	SOUTH	2.50M	SOUTH	3.00M	NORTH	0.35M	NORTH	1.10M	SOUTH	1.00M
ELKHORN STREET	WEST	2.10M	WEST	2.50M	WEST	3.00M	EAST	1.85M	EAST	2.60M	EAST	1.00M
BUTTERNUT STREET	SOUTH	2.10M	SOUTH	2.50M	SOUTH	3.00M	NORTH	1.85M	NORTH	2.60M	NORTH SOUTH	1.00M 1.00M

CONTRACTOR



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CONSTRUCTION
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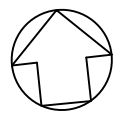
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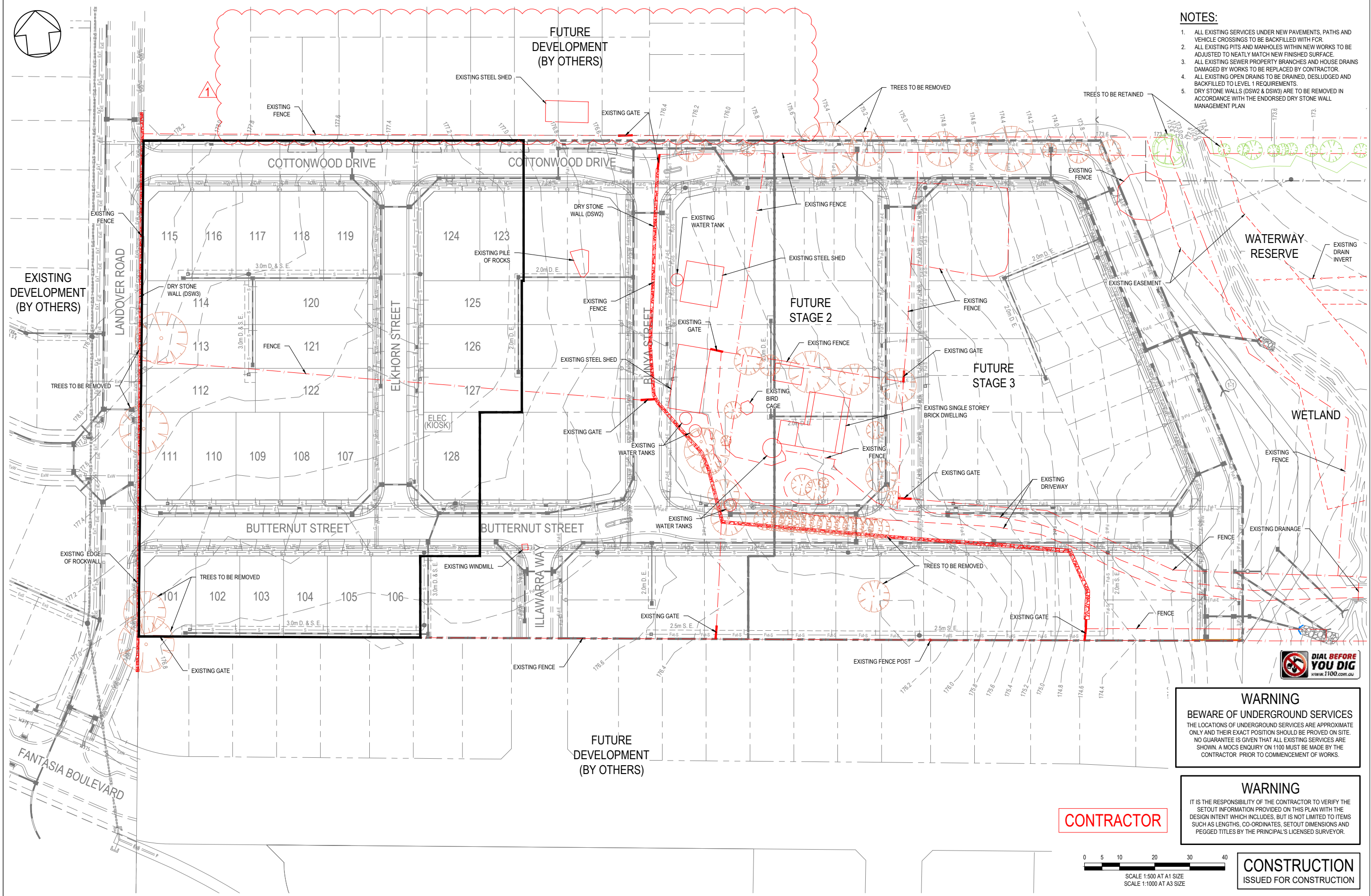
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CITY OF WHITTLESEA		SCALE
405 EPPING ROAD, WOLLERT VIC 3750		AS SHOWN
STAGE 1		VERSION 0
GENERAL NOTES, LOCALITY PLAN, DRAWING INDEX AND SERVICE OFFSET TABLE		SHEET 1 OF 19
		DRAWING No.
		21408-01-E-100



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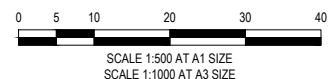
1. ALL EXISTING SERVICES UNDER NEW PAVEMENTS, PATHS AND VEHICLE CROSSINGS TO BE BACKFILLED WITH FCR.
2. ALL EXISTING PITS AND MANHOLES WITHIN NEW WORKS TO BE ADJUSTED TO NEATLY MATCH NEW FINISHED SURFACE.
3. ALL EXISTING SEWER PROPERTY BRANCHES AND HOUSE DRAINS DAMAGED BY WORKS TO BE REPLACED BY CONTRACTOR.
4. ALL EXISTING OPEN DRAINS TO BE DRAINED, DESLUDGED AND BACKFILLED TO LEVEL 1 REQUIREMENTS.
5. DRY STONE WALLS (DSW2 & DSW3) ARE TO BE REMOVED IN ACCORDANCE WITH THE ENDORSED DRY STONE WALL MANAGEMENT PLAN



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VER	DATE	REVISION
1	02/12/2021	NORTHERN INTERFACE ADDED
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PROPOSED GAS MAIN	TREE TO BE RETAINED	EXISTING DRIVEWAY
— G — G —		— — — — —
PROPOSED WATER MAIN	TREE TO BE REMOVED	EXISTING GATE
— W — W —		— — — — —
PROPOSED NON-DRINKING WATER	EXISTING SHEDS TO BE REMOVED	
— NDW — NDW —		
PROPOSED ELECTRICITY CABLE	EXISTING WATER TANK	
— E — E —		
PROPOSED TELCO CABLE	EXISTING FENCE	
— T — T —		
PROPOSED SEWER MAIN & M.H.	EXISTING EDGE OF ROCKWALL	
— S — S —		
PROPOSED DRAIN, PIT & PROPERTY INLET	EXISTING EASEMENT	
— D — D —		

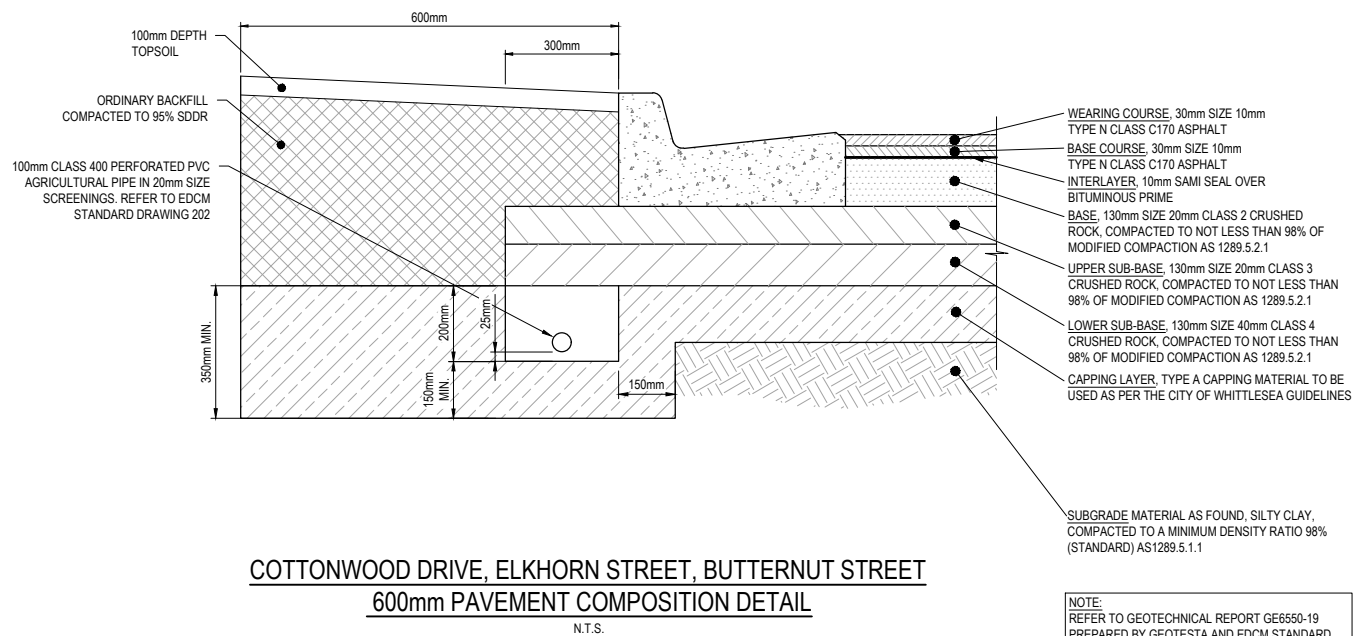
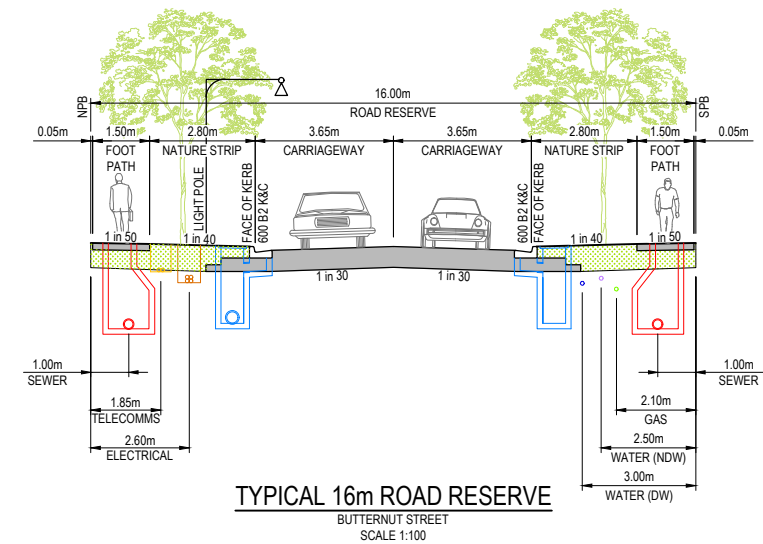
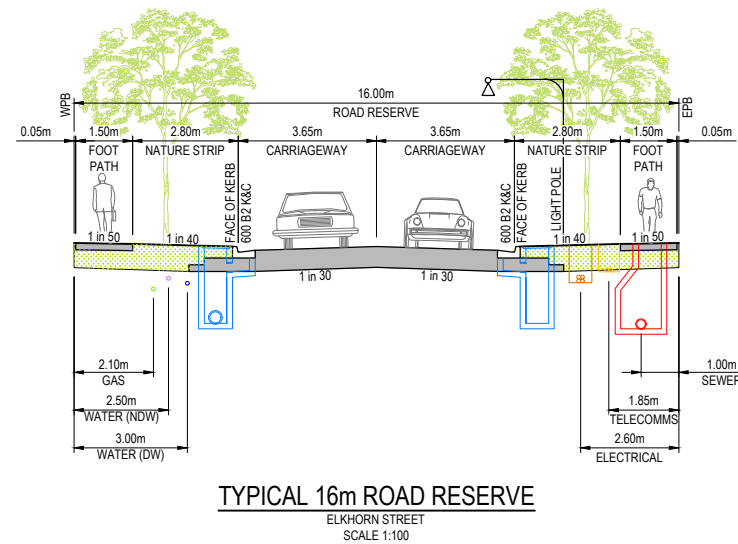
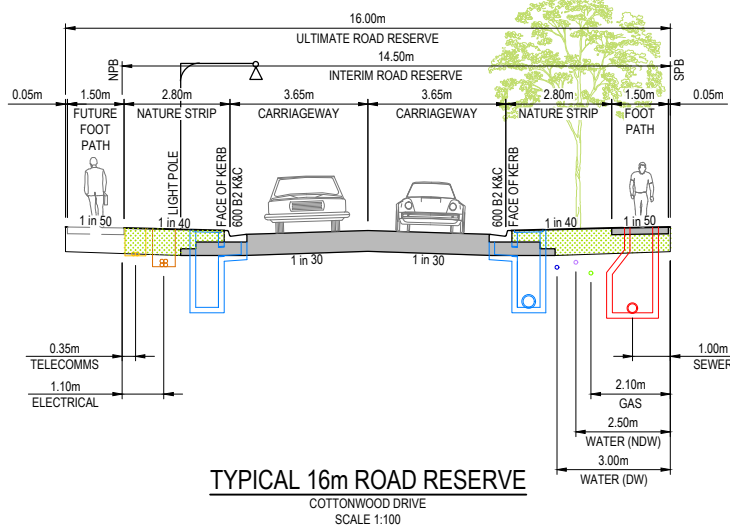
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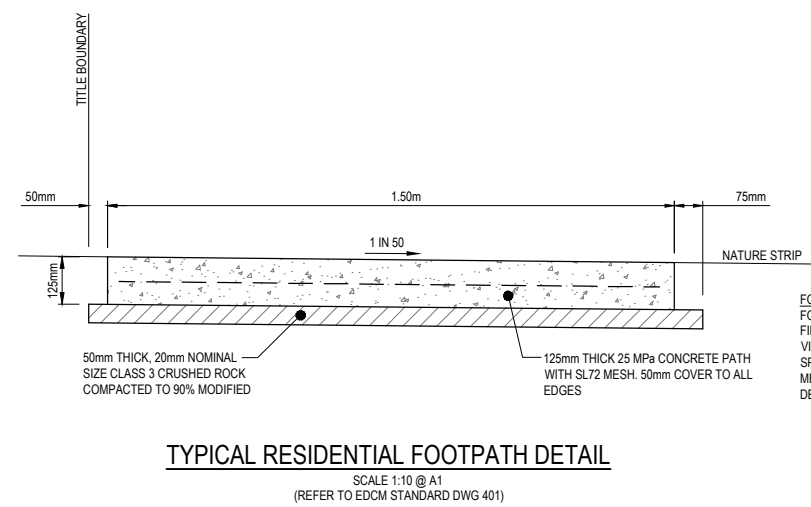
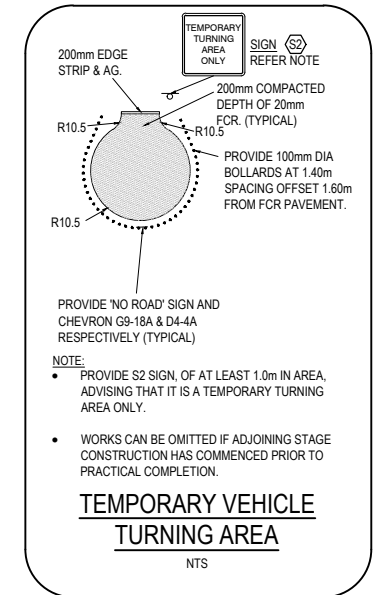
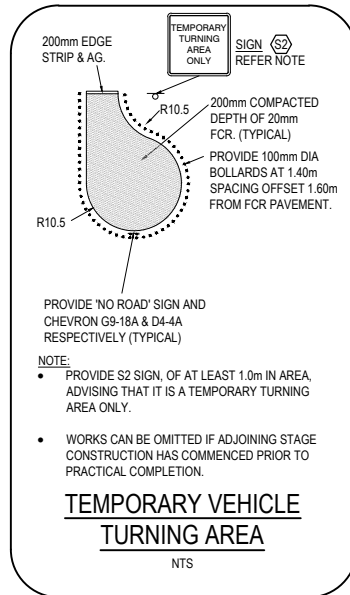
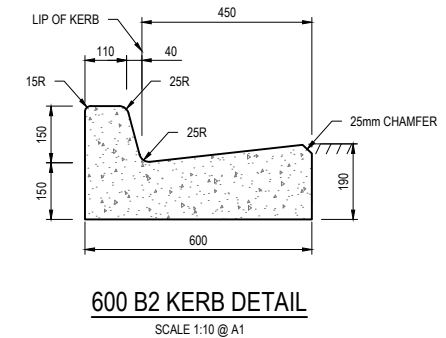
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CITY OF WHITTLESEA
 405 EPPING ROAD, WOLLERT VIC 3570
STAGE 1
 EXISTING FEATURES PLAN

SCALE	1:500 @ A1
VERSION	0
SHEET	2 OF 19
DRAWING No.	21408-01-E-101

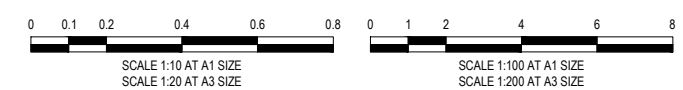


NOTE:
REFER TO GEOTECHNICAL REPORT GE6550-19
PREPARED BY GEOTESTA AND EDMC STANDARD
DRAWING 202 FOR SUBSURFACE DRAIN DETAILS.



FOOTPATH DETAIL NOTE:
FOOTPATH CONSTRUCTED IN FILL SHALL BE USING STRUCTURAL FILL MATERIAL TO BE APPROVED TYPE 'A' MATERIAL AS PER VICROADS SERIES 200 DOCUMENT TABLE 204.04. SPREAD IN SUCCESSIVE LAYERS NOT EXCEEDING 150mm (LOOSE MEASUREMENT) AND COMPACTED THROUGHOUT TO A DRY DENSITY OF NOT LESS THAN 98% STANDARD COMPACTION

CONTRACTOR



CONSTRUCTION
ISSUED FOR CONSTRUCTION

WARNING
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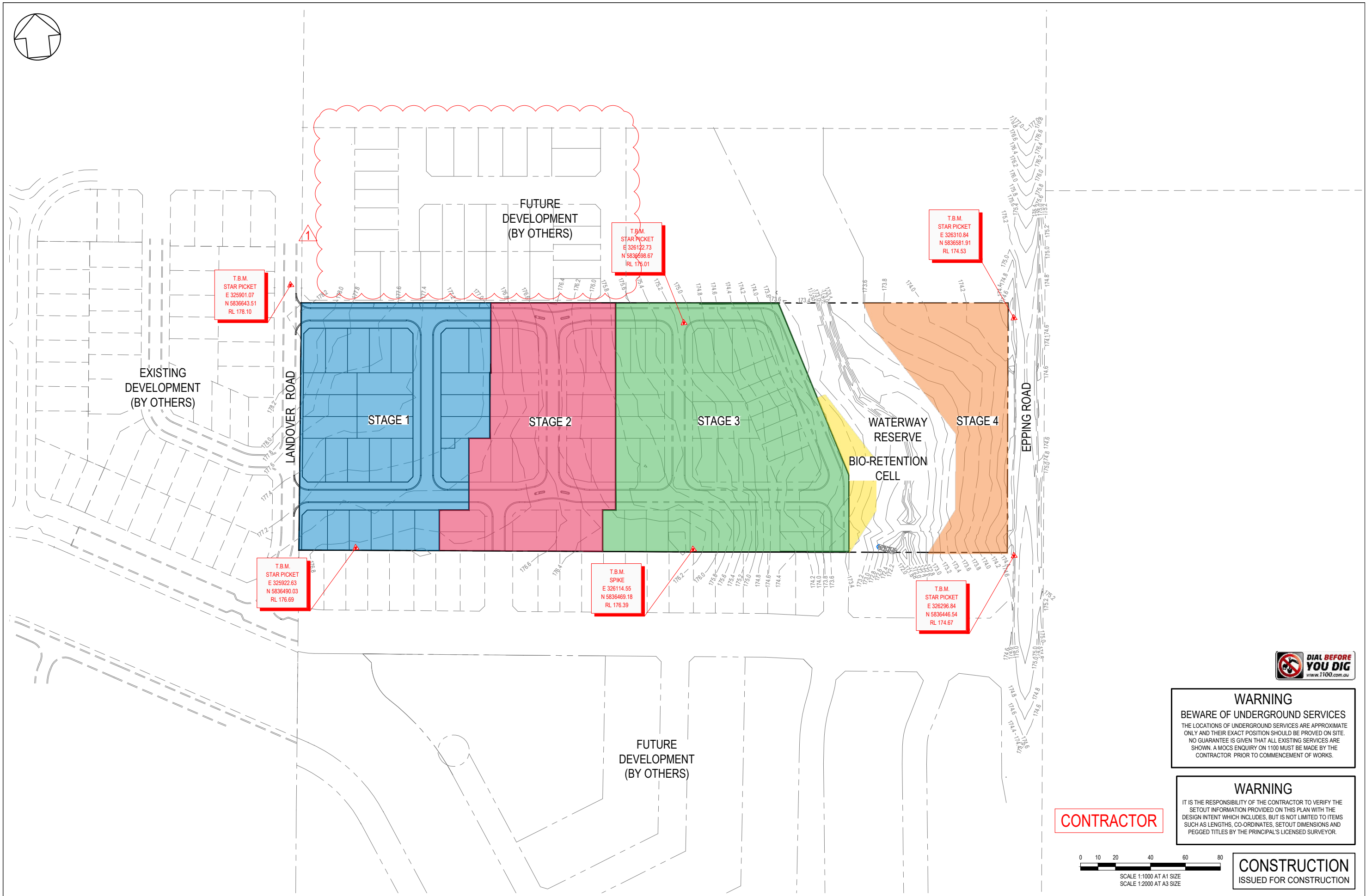
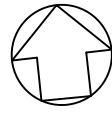


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CITY OF WHITTLESEA 405 EPPING ROAD, WOLLERT VIC 3570 STAGE 1	
TYPICAL SECTIONS AND DETAILS	

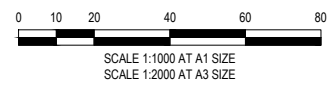
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VERSION	0
SHEET	3 OF 19
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CONTRACTOR



CONSTRUCTION
 ISSUED FOR CONSTRUCTION

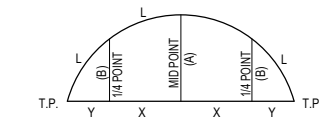
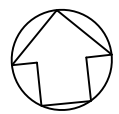
VER	DATE	REVISION	APPD.
1	02/12/2021	NORTHERN INTERFACE ADDED	WJB
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

TAYLORS
 Urban Development | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2800 | Web: taylorss.com.au

DESIGNED: ALP	AUTHORISED: JOY	DRAFTED: BAB
CHECKED: MIO	AUTH. DATE: 04/06/2020	CAD REF: 21408-01-E-103

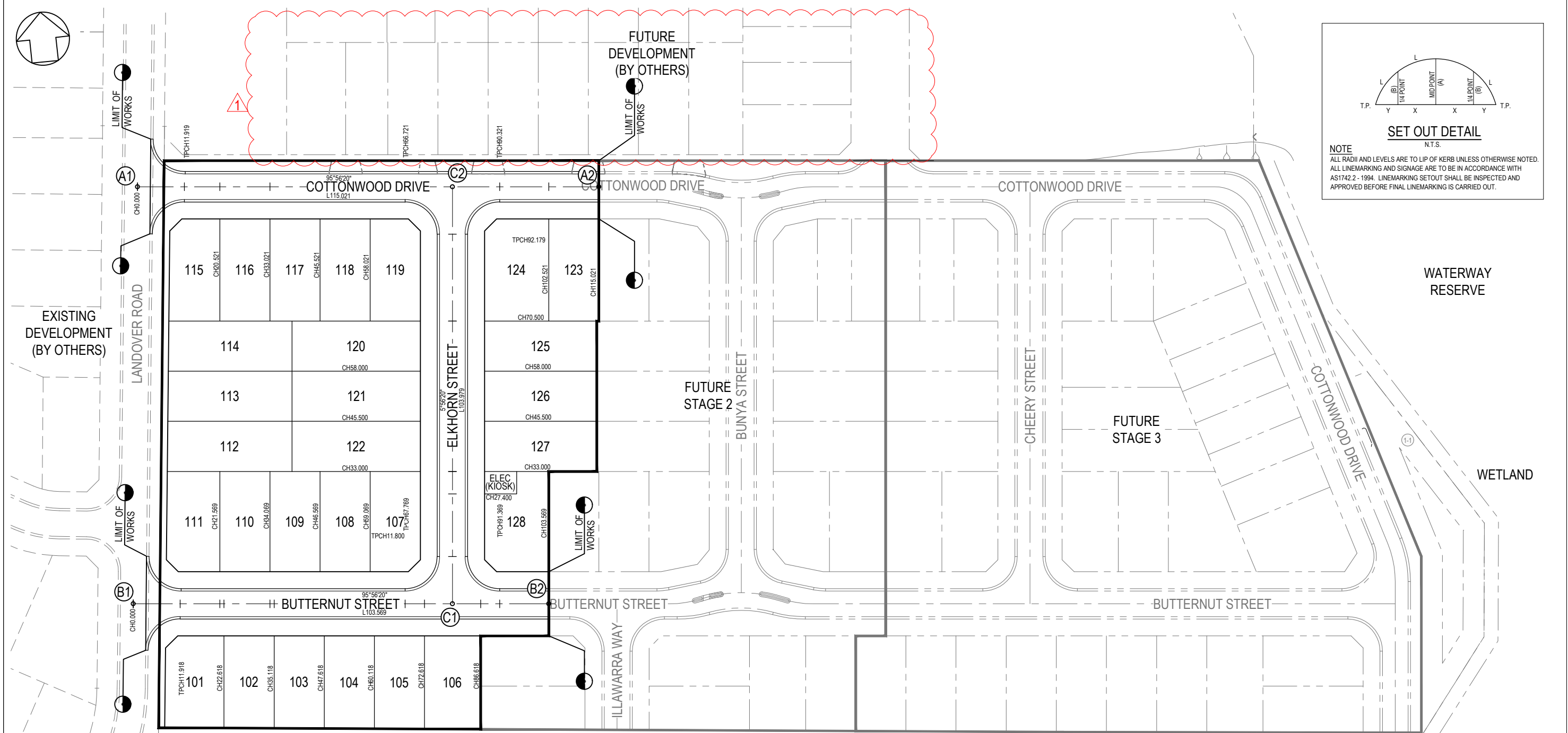
Coords: MGA Levels: AHD

CITY OF WHITTLESEA	SCALE 1:1000 @ A1
405 EPPING ROAD, WOLLERT VIC 3570	VERSION 0
STAGE 1	SHEET 4 OF 19
OVERALL STAGING PLAN & TBM'S	DRAWING No.
	21408-01-E-103



SET OUT DETAIL

NOTE
ALL RADII AND LEVELS ARE TO LIP OF KERB UNLESS OTHERWISE NOTED.
ALL LINEMARKING AND SIGNAGE ARE TO BE IN ACCORDANCE WITH AS1742.2 - 1994. LINEMARKING SETOUT SHALL BE INSPECTED AND APPROVED BEFORE FINAL LINEMARKING IS CARRIED OUT.



ALIGNMENT A			
POINT NO	EASTING	NORTHING	RL
A1	325898.852	5836626.896	178.108
A2	326013.256	5836614.995	176.777

ALIGNMENT B			
POINT NO	EASTING	NORTHING	RL
B1	325887.051	5836523.584	177.141
B2	325990.064	5836512.868	176.798

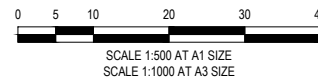
ALIGNMENT C			
POINT NO	EASTING	NORTHING	RL
C1	325966.193	5836515.351	176.918
C2	325976.952	5836618.772	177.318



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CONTRACTOR



CONSTRUCTION
ISSUED FOR CONSTRUCTION

1	02/12/2021	NORTHERN INTERFACE ADDED	WJB
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO
VER	DATE	REVISION	APPD.

CENTRE LINE SETOUT POINT ○ (H3)

TAYLORS
Urban Development | Infrastructure
8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
Tel: 61 3 9501 2600 | Web: taylorss.com.au

DESIGNED:	ALP	AUTHORISED:	JOY	DRAFTED:	BAB
CHECKED:	MIO	AUTH. DATE:	04/06/2020	CAD REF:	21408-01-E-104

CITY OF WHITTLESEA
405 EPPING ROAD, WOLLERT VIC 3570
STAGE 1
ROAD CENTRELINE SETOUT PLAN

SCALE	1:500 @ A1
VERSION	0
SHEET	5 OF 19
DRAWING No.	21408-01-E-104

PLAN OF SUBDIVISION EDITION 1 PS829732K

LOCATION OF LAND COUNCIL NAME: WHITTLESEA CITY COUNCIL

FARISH: WOLLERT

SECTION: 19

CROWN ALLOTMENT: 1 (PART)

TITLE REFERENCE: Vol. 10262 Fol. 462

LAST PLAN REFERENCE: Lot 7 of PS418005

POSTAL ADDRESS: 400 Epping Road WOLLERT VIC 3500

MOBIL COORDINATES: G 320 910 2006 55
M 589 550

VISITING OF ROADS AND/OR RESERVES

NOTATIONS

DATE: 20/07/2021

ROAD R1: Wollert City Council

NOTES: Lots 101 to 105 both include on the plan any easements or other rights or interests. Refer to the relevant plan for details.

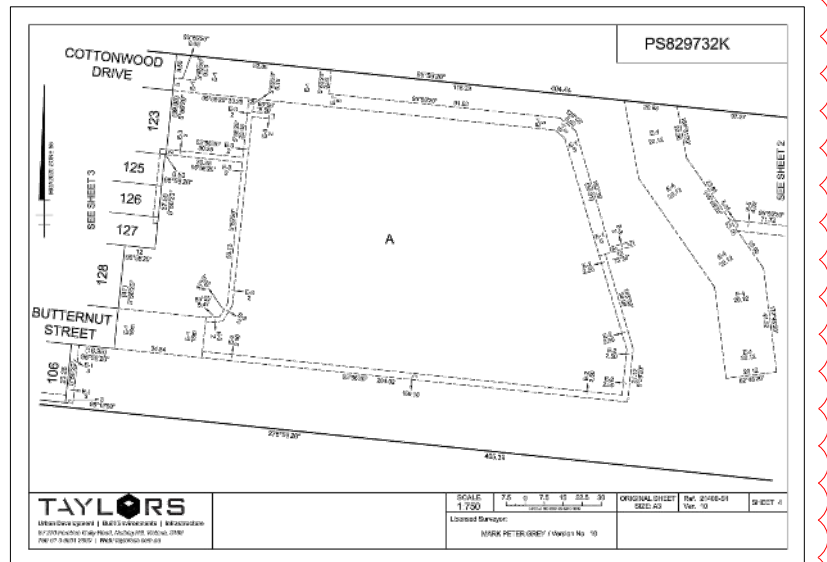
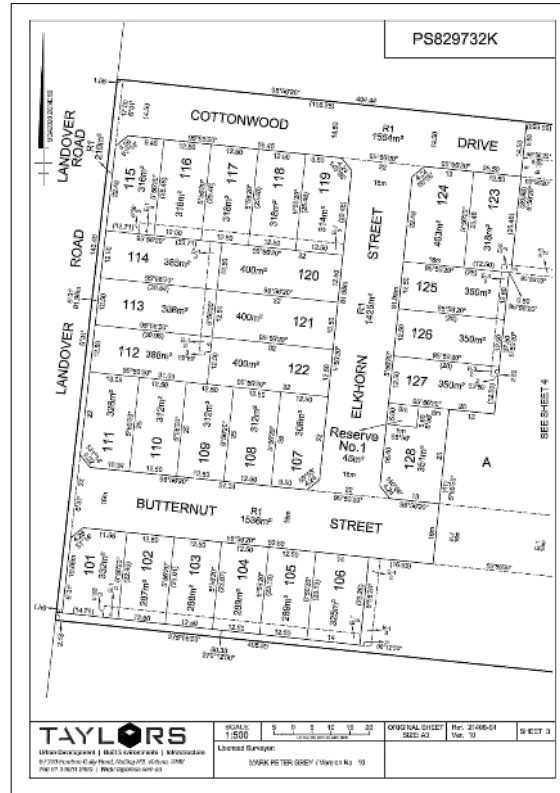
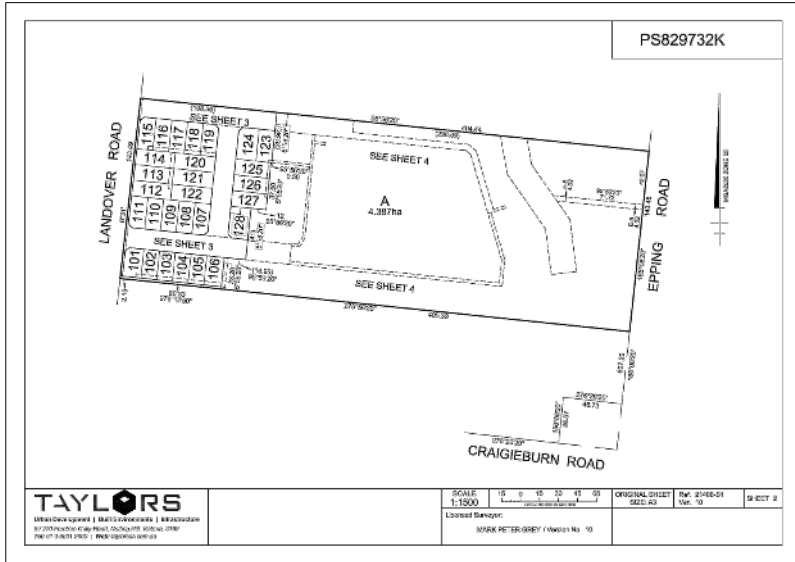
ACACIA VILLAGE - Stage 1

Area of Release: 1.623ha

No. of Lots: 26

TABLE 1: Easement Reference, Purpose, Width, Type, Land Beneficially Affected

TABLE 2: Surveyor/Profile No., Date, Original Sheet Size, Sheet 1 of 7



2

PS829732K

CREATION OF RESTRICTION 'A'

The registered proprietor of the benefited land covenants with the registered proprietor of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the benefited land and the benefit of the restriction is annexed to and runs with the benefited land.

LAND TO BE BURDENED: See Table 1 below.

LAND TO BENEFIT: See Table 2 below.

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any benefited lot to which this restriction applies must not:

- Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house with a setback of less than 4m or greater than 5m from the front boundary of the lot, except with the written consent of Whittlesea Planning Services Pty Ltd.
- Construct or allow to be constructed or remain on the lot or any part of it, any garage with a setback less than 5 metres from the front boundary of the lot.
- Construct or allow to be constructed or remain on the lot or any part of it, any garage on the lot other than a single car garage where the width of the lot is 10 metres or less when measured at the front wall of the dwelling, where access is proposed from the lot to the garage.
- Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or commercial building other than any dwelling house or commercial building which incorporates dual plumbing for the use of recycled water in toilet flushing and garden watering.
- Construct or allow to be constructed or remain on a corner lot or any part of it, any dwelling with the side wall of the first level which is constructed:
 - (i) less than 300mm from the ground level wall that faces a side street; or
 - (ii) with less than 30% glazing for the area of the wall and the remainder of the wall must be constructed in contrasting material finishes.

Restriction A (1) Expiry Date: 24/06/2029

NOTE: Restrictions A (2), 3, 4 & 5 satisfy Planning Permit No. 719150 Condition 6

TABLE 1: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 2: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 3: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 4: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 5: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 6: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 7: Burdened Lot No., Beneficially Affected Lot No., Area

PS829732K

CREATION OF RESTRICTION 'B'

The registered proprietor of the benefited land covenants with the registered proprietor of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the benefited land and the benefit of the restriction is annexed to and runs with the benefited land.

LAND TO BE BURDENED: See Table 2 below.

LAND TO BENEFIT: See Table 2 below.

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any benefited lot to which this restriction applies must not:

- Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or garage other than a dwelling house or garage with an area less than 100m² in accordance with the Street Layout Planning Code incorporated into the Whittlesea Planning Scheme unless a planning permit is granted by the responsible authority for a dwelling house or garage that does not conform with the Street Layout Planning Code.
- Construct or allow to be constructed or remain on the lot or any part of it, any garage with a setback less than 5 metres from the front boundary of the lot.
- Construct or allow to be constructed or remain on the lot or any part of it, any garage on the lot other than a single car garage where the width of the lot is 10 metres or less when measured at the front wall of the dwelling, where access is proposed from the lot to the garage.
- Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or commercial building other than any dwelling house or commercial building which incorporates dual plumbing for the use of recycled water in toilet flushing and garden watering.
- Construct or allow to be constructed or remain on a corner lot or any part of it, any dwelling with the side wall of the first level which is constructed:
 - (i) less than 300mm from the ground level wall that faces a side street; or
 - (ii) with less than 30% glazing for the area of the wall and the remainder of the wall must be constructed in contrasting material finishes.

NOTE: Restrictions B (1) satisfy Planning Permit No. 719154 Condition 6

Restrictions B (2), 3, 4 & 5 satisfy Planning Permit No. 719151 Condition 6

TABLE 2: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 3: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 4: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 5: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 6: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 7: Burdened Lot No., Beneficially Affected Lot No., Area

PS829732K

CREATION OF RESTRICTION 'C'

The registered proprietor of the benefited land covenants with the registered proprietor of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the benefited land and the benefit of the restriction is annexed to and runs with the benefited land.

LAND TO BE BURDENED: Lots 101 to 129 on this plan.

LAND TO BENEFIT: Lots 101 to 129 on this plan.

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any benefited lot to which this restriction applies must not:

- Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house other than a private dwelling house with a maximum floor area of 100m² in accordance with the Street Layout Planning Code incorporated into the Whittlesea Planning Scheme unless a planning permit is granted by the responsible authority for a dwelling house or garage that does not conform with the Street Layout Planning Code.
- Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or building without a private garage unless a planning permit is granted by the responsible authority for a dwelling house or garage that does not conform with the Street Layout Planning Code.

Expiry Date: 24/06/2029

NOTE: Restrictions C (1) satisfy Planning Permit No. 719154 Condition 6

Restrictions C (2), 3, 4 & 5 satisfy Planning Permit No. 719151 Condition 6

TABLE 3: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 4: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 5: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 6: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 7: Burdened Lot No., Beneficially Affected Lot No., Area

PS829732K

CREATION OF RESTRICTION 'D'

The registered proprietor of the benefited land covenants with the registered proprietor of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the benefited land and the benefit of the restriction is annexed to and runs with the benefited land.

LAND TO BE BURDENED: See Table 3 below.

LAND TO BENEFIT: See Table 3 below.

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any benefited lot to which this restriction applies must not:

- Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house other than a dwelling house with at least one side of the dwelling with a minimum dimension of 1.0m from the side boundary.

TABLE 3: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 4: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 5: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 6: Burdened Lot No., Beneficially Affected Lot No., Area

TABLE 7: Burdened Lot No., Beneficially Affected Lot No., Area



WARNING

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CONTRACTOR

CONSTRUCTION

ISSUED FOR CONSTRUCTION

2	26/08/2021	POS UPDATED TO V10	WJB
1	20/07/2021	POS, SERVICES AND FS LEVELS UPDATED	CSH
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO
VER	DATE	REVISION	APPD.



CITY OF WHITTLESEA

405 EPPING ROAD, WOLLERT VIC 3570

STAGE 1

PLAN OF SUBDIVISION

SCALE: N.T.S.

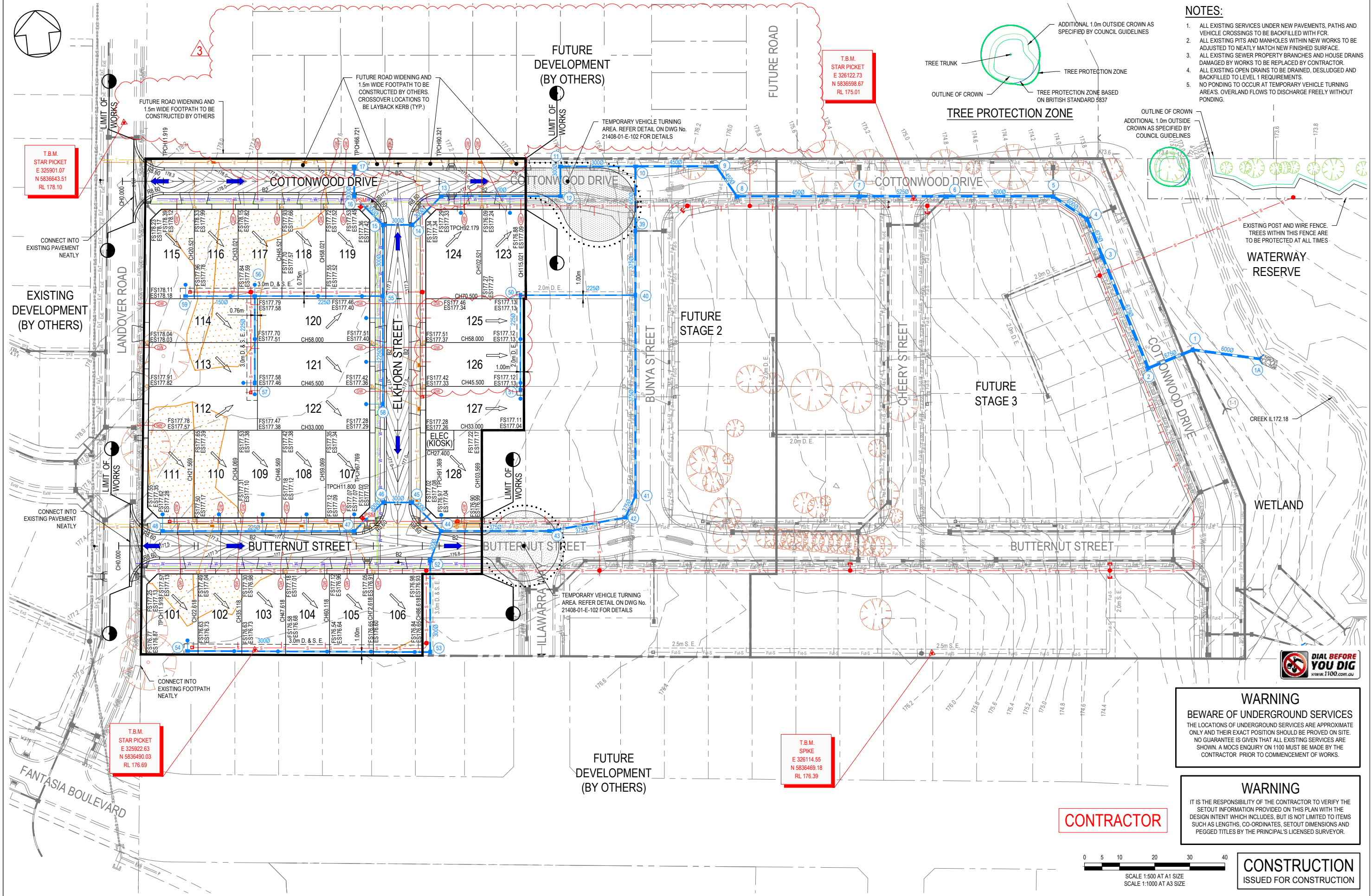
VERSION: 2

SHEET: 6 OF 19

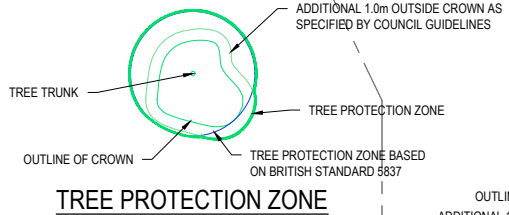
DRAWING No.: 21408-01-E-105

DESIGNED: ALP AUTHORIZED: JOY DRAFTED: BAB

CHECKED: MIO AUTH. DATE: 04/06/2020 CAD REF: 21408-01-E-105



- NOTES:**
1. ALL EXISTING SERVICES UNDER NEW PAVEMENTS, PATHS AND VEHICLE CROSSINGS TO BE BACKFILLED WITH FCR.
 2. ALL EXISTING PITS AND MANHOLES WITHIN NEW WORKS TO BE ADJUSTED TO NEATLY MATCH NEW FINISHED SURFACE.
 3. ALL EXISTING SEWER PROPERTY BRANCHES AND HOUSE DRAINS DAMAGED BY WORKS TO BE REPLACED BY CONTRACTOR.
 4. ALL EXISTING OPEN DRAINS TO BE DRAINED, DESLUGHED AND BACKFILLED TO LEVEL 1 REQUIREMENTS.
 5. NO PONDING TO OCCUR AT TEMPORARY VEHICLE TURNING AREAS. OVERLAND FLOWS TO DISCHARGE FREELY WITHOUT PONDING.



T.B.M.
STAR PICKET
E 325901.07
N 5836643.51
RL 178.10

T.B.M.
STAR PICKET
E 326122.73
N 5836598.87
RL 175.01

T.B.M.
STAR PICKET
E 325922.63
N 5836490.03
RL 176.69

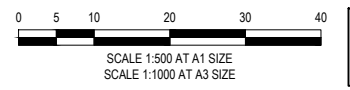
T.B.M.
SPIKE
E 326114.55
N 5836469.18
RL 176.39



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CONTRACTOR



CONSTRUCTION
ISSUED FOR CONSTRUCTION

VER	DATE	REVISION	APPD.
3	02/12/2021	PRAM CROSSING MOVED, GWT ADDED, LAYBACKS ADDED AND NORTHERN INTERFACE ADDED	WJB
2	31/08/2021	LOT LEVELS UPDATED	WJB
1	20/07/2021	POS, SERVICES, DRAINAGE AND FS LEVELS UPDATED	CSH
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

EXISTING GAS MAIN	EXISTING WATER MAIN	EXISTING ELECTRICITY CABLE	EXISTING TELCO CABLE & PIT	EXISTING SEWER MAIN & M.H.	EXISTING DRAIN & PIT	PROPOSED GAS MAIN	PROPOSED WATER MAIN	PROPOSED NON-DRINKING WATER	PROPOSED ELECTRICITY CABLE & PIT	PROPOSED TELCO CABLE	PROPOSED SEWER MAIN & M.H.	PROPOSED DRAIN, PIT & PROPERTY INLET	STREET NAME SIGN
—Eg	—Ew	—Ee	—Ea	—Es	—Ed	—G	—W	—NW	—E	—T	—S	—D	—P.S.M.
		—P											—T.B.M.
													—G.W.

Coords: MGA
Levels: AHD

TAYLORS
Urban Development | Infrastructure
8/270 Ferntree Gully Road, Notting Hill, Victoria, 3168
Tel: 61 3 9501 2600 | Web: taylors.com.au

DESIGNED: ALP
CHECKED: MIO

AUTHORISED: JOY
AUTH. DATE: 04/06/2020

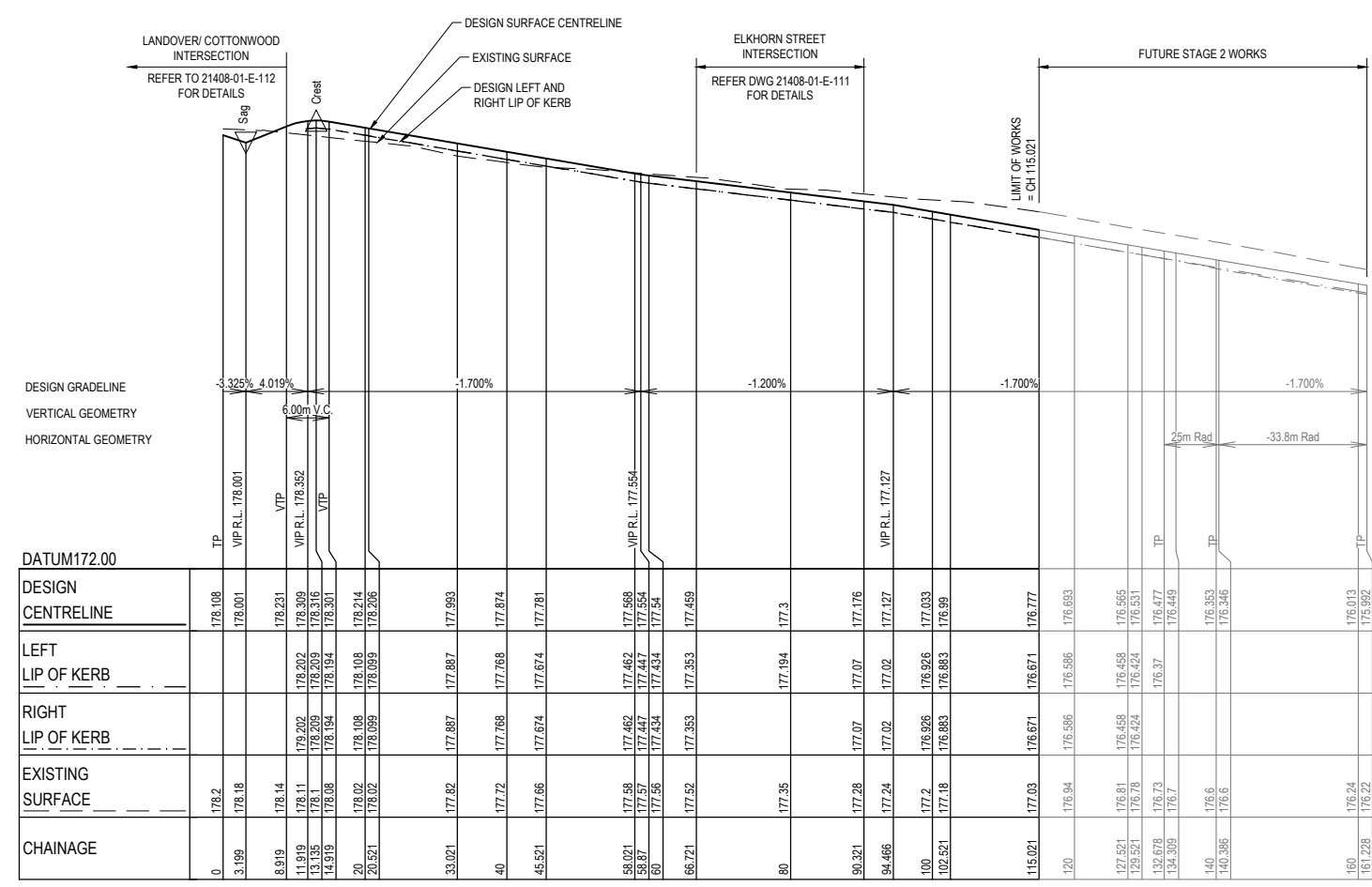
DRAFTED: BAB
CAD REF: 21408-01-E-106

CITY OF WHITTLESEA
405 EPPING ROAD, WOLLERT VIC 3570
STAGE 1
DETAIL LAYOUT PLAN

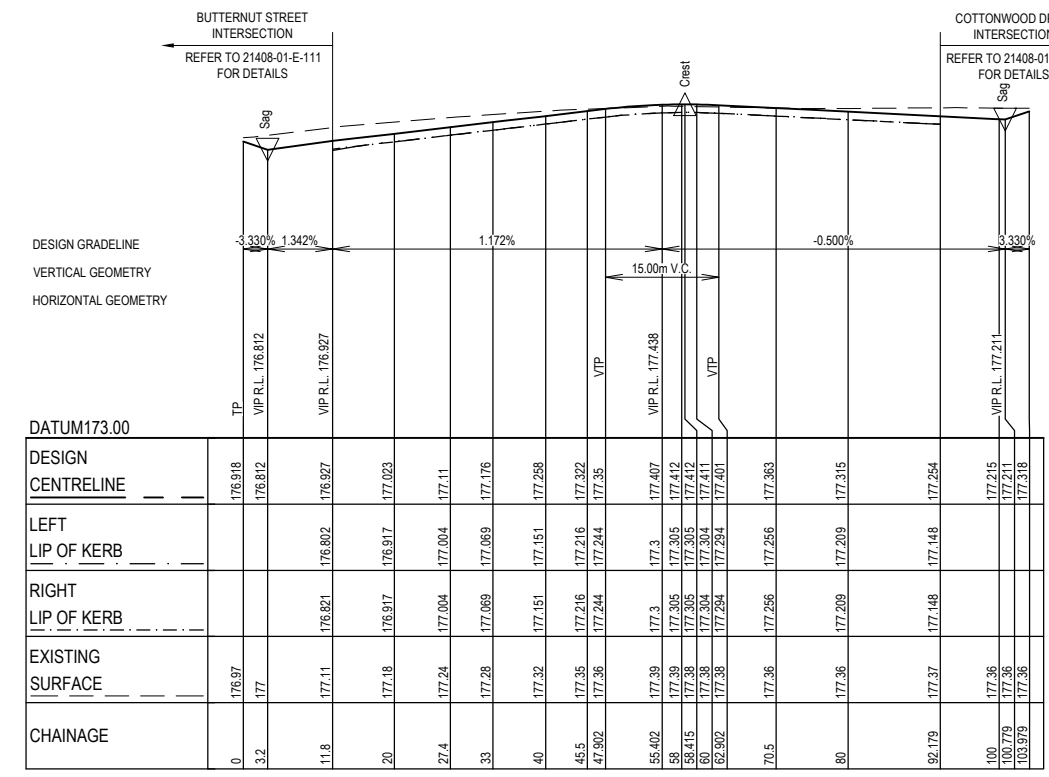
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VERSION	3
SHEET	7 OF 19
DRAWING No.	21408-01-E-106

NOTES:

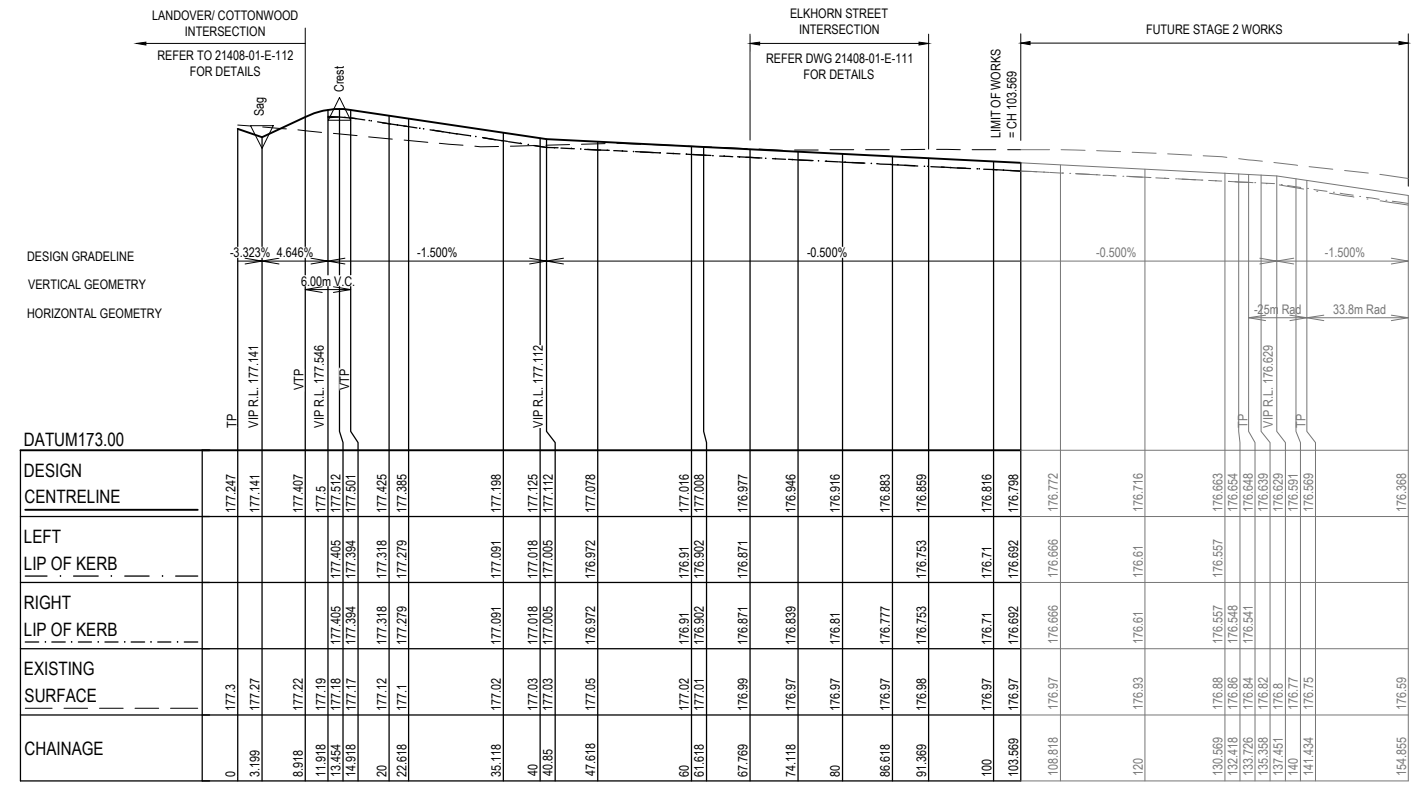
1. ALL EXISTING SERVICES UNDER NEW PAVEMENTS, PATHS AND VEHICLE CROSSINGS TO BE BACKFILLED WITH FCR.
2. ALL EXISTING PITS AND MANHOLES WITHIN NEW WORKS TO BE ADJUSTED TO NEATLY MATCH NEW FINISHED SURFACE.
3. ALL EXISTING SEWER PROPERTY BRANCHES AND HOUSE DRAINS DAMAGED BY WORKS TO BE REPLACED BY CONTRACTOR.
4. ALL EXISTING OPEN DRAINS TO BE DRAINED, DESLUDGED AND BACKFILLED TO LEVEL 1 REQUIREMENTS.



COTTONWOOD DRIVE



ELKHORN STREET



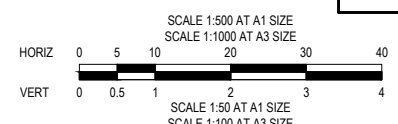
BUTTERNUT STREET



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CONTRACTOR



CONSTRUCTION
ISSUED FOR CONSTRUCTION

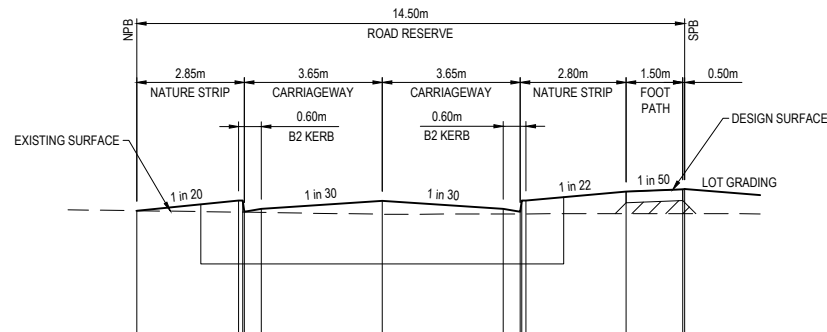
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO
VER	DATE	REVISION	APPD.

TAYLORS
Urban Development | Infrastructure
8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
Tel: 61 3 9501 2800 | Web: taylors.com.au

DESIGNED: ALP AUTHORIZED: JOY DRAFTED: BAB
CHECKED: MIO AUTH. DATE: 04/06/2020 CAD REF: 21408-01-E-107

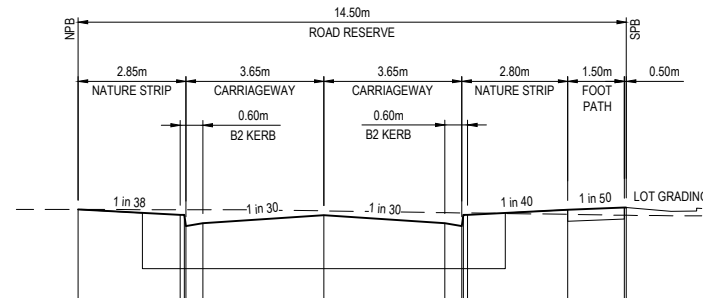
CITY OF WHITTLESEA
405 EPPING ROAD, WOLLERT VIC 3570
STAGE 1
ROAD LONGITUDINAL SECTIONS

SCALE 1:500 H, 1:50 V @A1
VERSION 0
SHEET 8 OF 19
DRAWING No. 21408-01-E-107



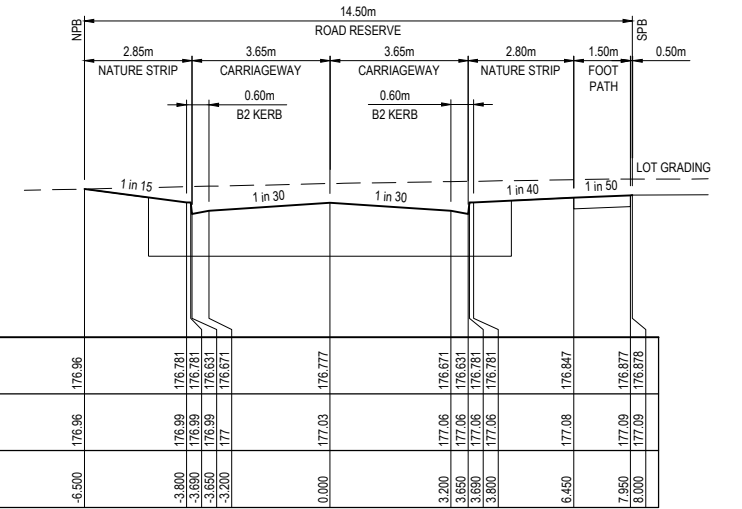
DATUM RL 176	
DESIGN SURFACE	177.861
EXISTING SURFACE	177.86
OFFSET	-6.500

CH 33.021



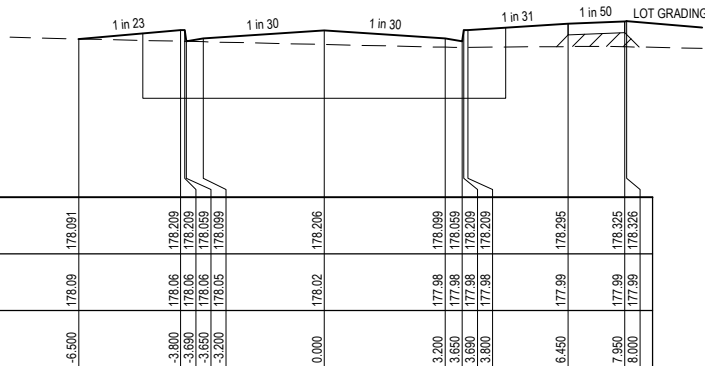
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EXISTING SURFACE	177.53
OFFSET	-6.500

TPCH 66.721



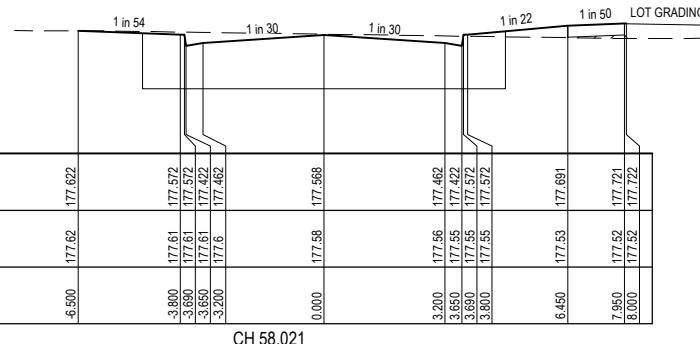
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EXISTING SURFACE	176.96
OFFSET	-6.500

CH 115.021



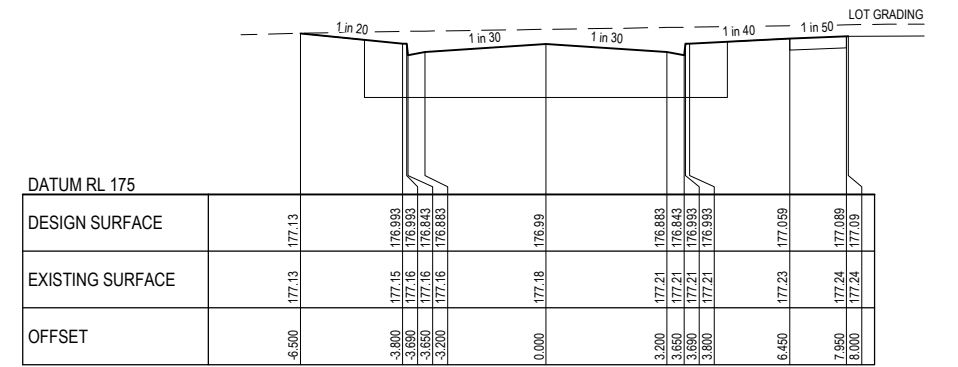
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EXISTING SURFACE	178.09
OFFSET	-6.500

CH 20.521



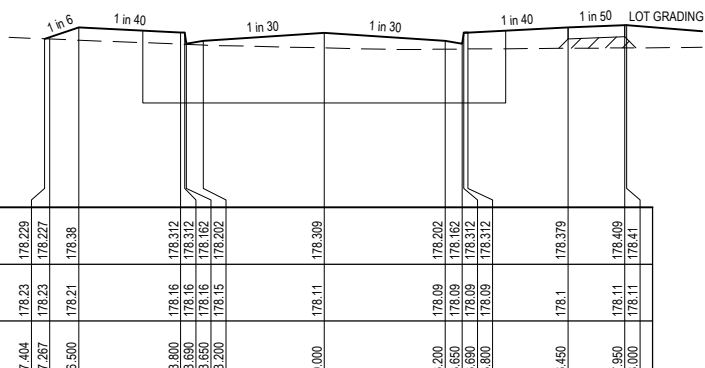
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CH 58.021



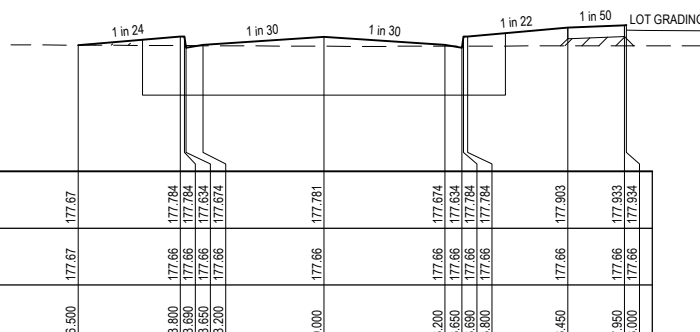
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OFFSET	-6.500

CH 102.521



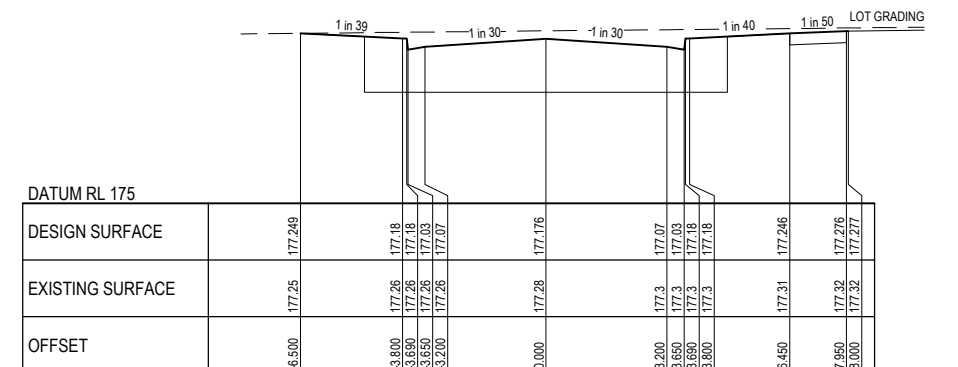
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EXISTING SURFACE	178.23
OFFSET	-7.404

CH 11.919



DATUM RL 176	
DESIGN SURFACE	177.67
EXISTING SURFACE	177.67
OFFSET	-6.500

CH 45.521



DATUM RL 175	
DESIGN SURFACE	177.249
EXISTING SURFACE	177.25
OFFSET	-6.500

TPCH 90.321

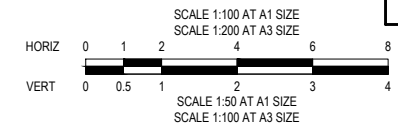
COTTONWOOD DRIVE



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CONTRACTOR



CONSTRUCTION
 ISSUED FOR CONSTRUCTION

VER	DATE	REVISION	APPD.
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

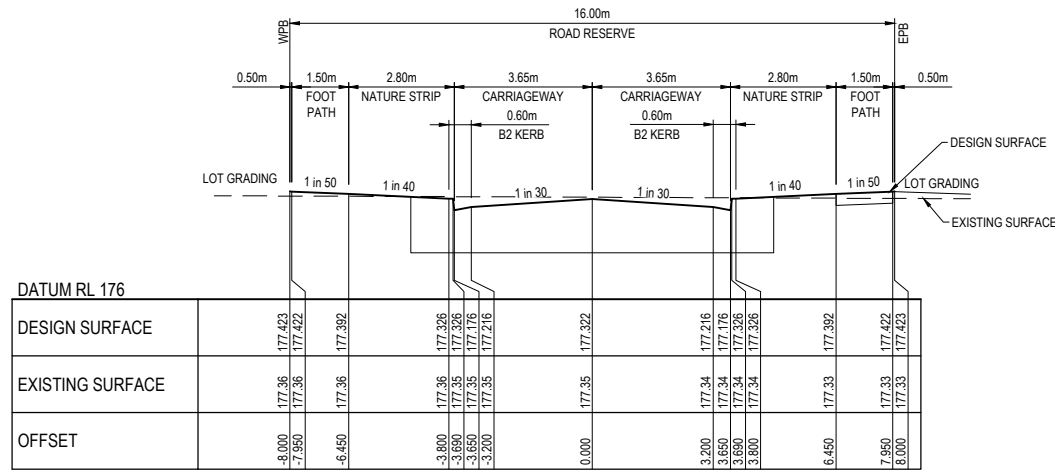
DENOTES STRUCTURAL FILL COMPACTED TO LEVEL 1 REQUIREMENTS WITH 45DEG ANGLE OF REPOSE SUPPORT
 NOTE:
 STRUCTURAL FILL MATERIAL TO BE APPROVED GRANULAR MATERIAL SPREAD IN SUCCESSIVE LAYERS NOT EXCEEDING 150mm (LOOSE MEASUREMENT) AND COMPACTED THROUGHOUT TO A DRY DENSITY OF NOT LESS THAN 98% STANDARD COMPACTION

Coords: MGA	Levels: AHD	CHECKED: MIO	AUTH. DATE: 04/06/2020
-------------	-------------	--------------	------------------------

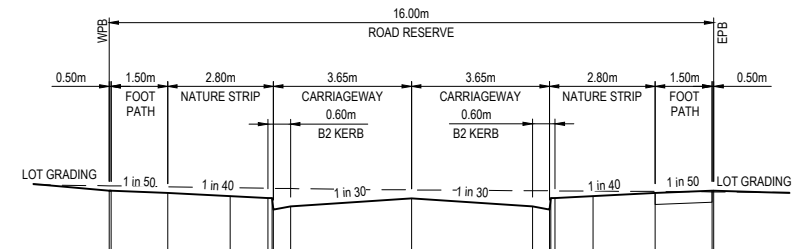
TAYLORS
 Urban Development | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2600 | Web: taylorss.com.au

DESIGNED: ALP	AUTHORISED: JOY	DRAFTED: BAB
CAD REF: 21408-01-E-108-110		

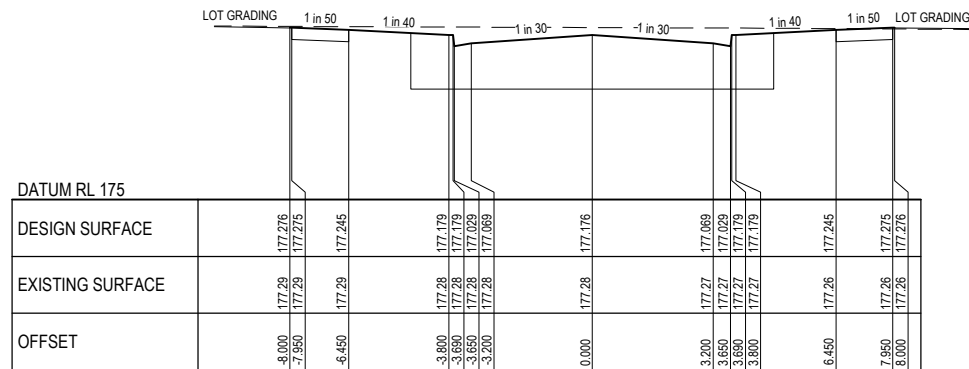
CITY OF WHITTLESEA	SCALE 1:100 H, 1:50 V @ A1
405 EPPING ROAD, WOLLERT VIC 3570	VERSION 0
STAGE 1	SHEET 9 OF 19
ROAD CROSS SECTIONS	DRAWING No.
SHEET 1 OF 3	21408-01-E-108



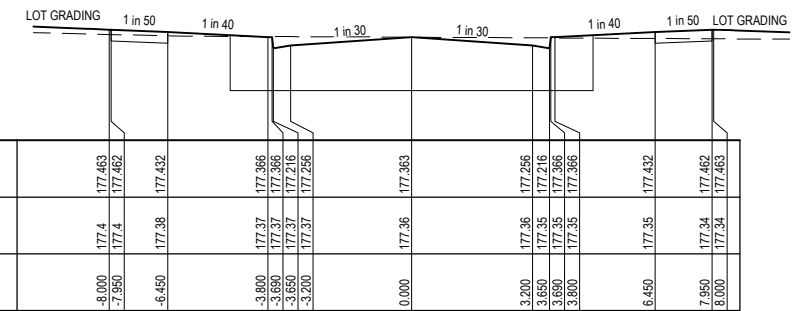
CH 45.500



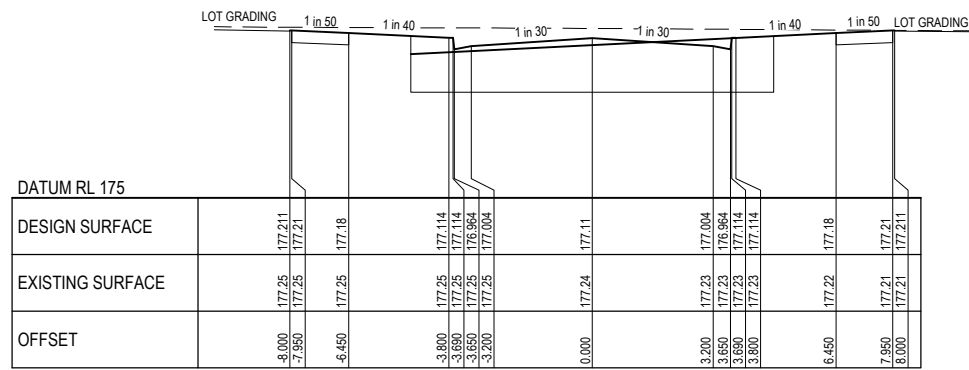
CH 92.179



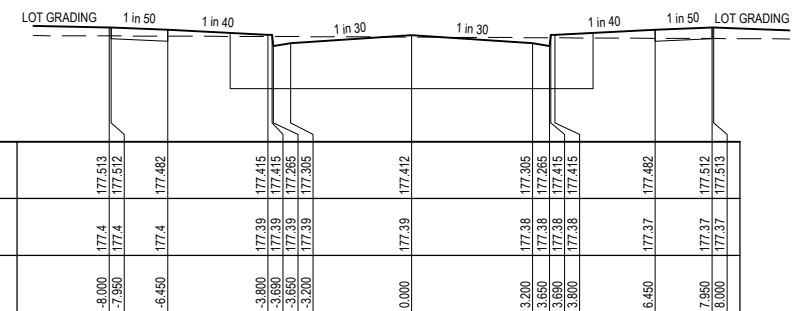
CH 33.000



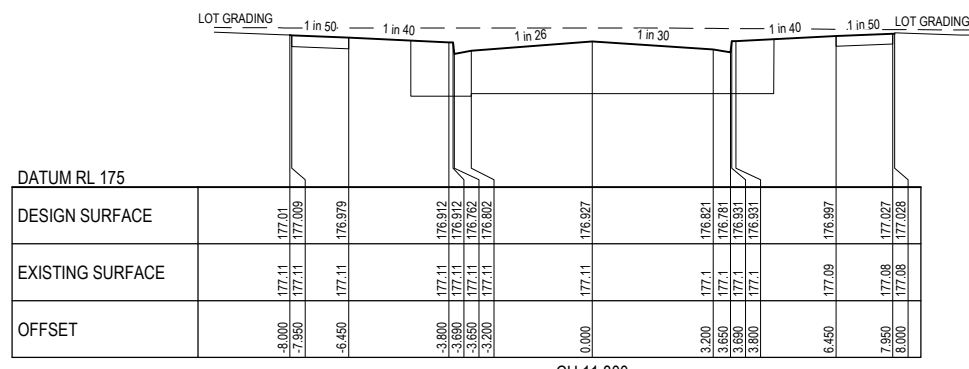
CH 70.500



CH 27.400



CH 58.000



CH 11.800

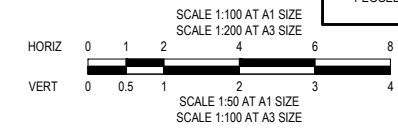
ELKHORN STREET



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CONTRACTOR



CONSTRUCTION
 ISSUED FOR CONSTRUCTION

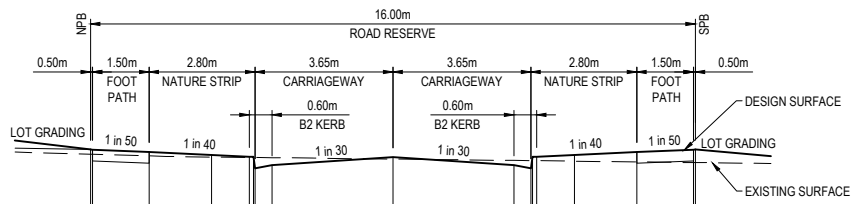
▨ DENOTES STRUCTURAL FILL COMPACTED TO LEVEL 1 REQUIREMENTS WITH 45DEG ANGLE OF REPOSE SUPPORT
 NOTE:
 STRUCTURAL FILL MATERIAL TO BE APPROVED GRANULAR MATERIAL SPREAD IN SUCCESSIVE LAYERS NOT EXCEEDING 150mm (LOOSE MEASUREMENT) AND COMPACTED THROUGHOUT TO A DRY DENSITY OF NOT LESS THAN 98% STANDARD COMPACTION

VER	DATE	REVISION	APPD.
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

TAYLORS Urban Development Infrastructure 8/270 Ferntree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2800 Web: taylors.com.au			
DESIGNED: ALP	AUTHORISED: JOY	DRAFTED: BAB	
CHECKED: MIO	AUTH. DATE: 04/06/2020	CAD REF: 21408-01-E-108-110	

CITY OF WHITTLESEA 405 EPPING ROAD, WOLLERT VIC 3570 STAGE 1 ROAD CROSS SECTIONS SHEET 2 OF 3	
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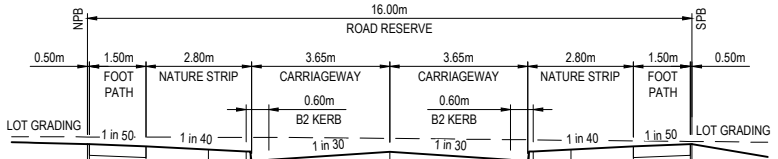
SCALE 1:100 H, 1:50 V @ A1
VERSION 0
SHEET 10 OF 19
DRAWING No. 21408-01-E-109



DATUM RL 175

DESIGN SURFACE	EXISTING SURFACE	OFFSET
177.179	177.12	-8.000
177.178	177.12	-7.950
177.148	177.09	-4.450
177.082	177.07	-3.800
177.082	177.07	-3.800
176.932	177.07	-3.650
176.932	177.07	-3.200
177.078	177.05	0.000
176.972	177.03	3.200
176.932	177.03	3.650
177.082	177.03	3.650
177.082	177.03	3.800
177.148	177.02	6.450
177.178	177.01	7.950
177.179	177.01	8.000

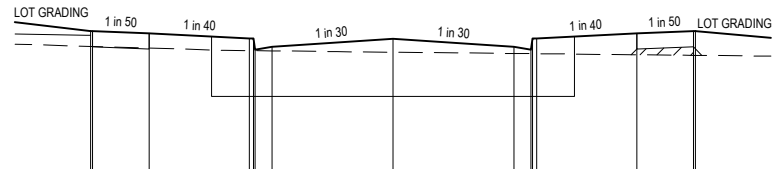
CH 47.618



DATUM RL 175

DESIGN SURFACE	EXISTING SURFACE	OFFSET
176.899	176.99	-8.000
176.898	176.99	-7.950
176.868	176.99	-6.450
176.802	176.99	-3.800
176.802	176.99	-3.650
176.652	176.99	-3.650
176.652	176.99	-3.200
176.798	176.97	0.000
176.692	176.96	3.200
176.652	176.96	3.650
176.652	176.96	3.650
176.802	176.95	3.650
176.868	176.94	6.450
176.898	176.93	7.950
176.899	176.93	8.000

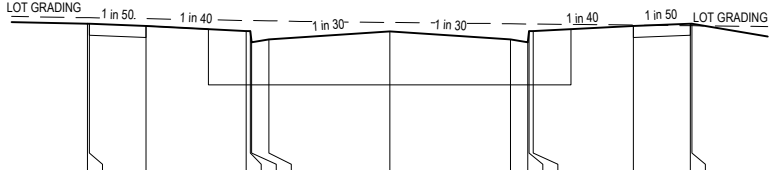
CH 103.569



DATUM RL 175

DESIGN SURFACE	EXISTING SURFACE	OFFSET
177.298	177.1	-8.000
177.298	177.1	-7.950
177.268	177.07	-6.450
177.081	177.04	-3.800
177.081	177.04	-3.650
177.081	177.04	-3.650
177.081	177.04	-3.200
177.198	177.02	0.000
177.091	177.01	3.200
177.051	177.01	3.650
177.201	177.01	3.650
177.201	177.01	3.800
177.268	176.99	6.450
177.298	176.98	7.950
177.299	176.98	8.000

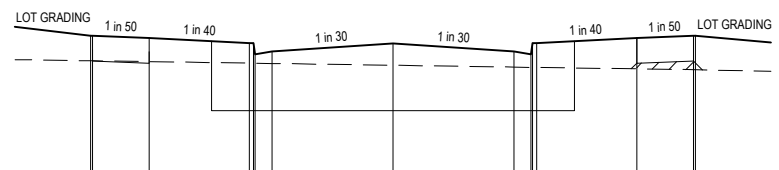
CH 35.118



DATUM RL 175

DESIGN SURFACE	EXISTING SURFACE	OFFSET
176.96	177.04	-8.000
176.959	177.04	-7.950
176.929	177.03	-6.450
176.863	177.03	-3.800
176.863	177.03	-3.650
176.713	177.03	-3.650
176.713	177.03	-3.200
176.859	176.98	0.000
176.753	176.96	3.200
176.713	176.96	3.650
176.713	176.96	3.650
176.863	176.96	3.650
176.929	176.94	6.450
176.959	176.93	7.950
176.96	176.93	8.000

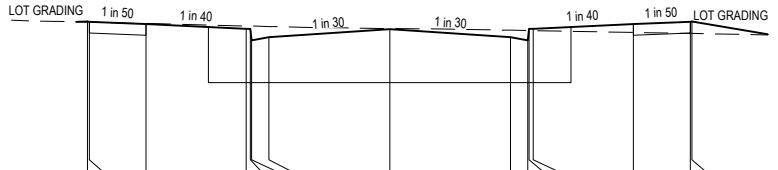
CH 91.369



DATUM RL 175

DESIGN SURFACE	EXISTING SURFACE	OFFSET
177.486	177.16	-8.000
177.485	177.16	-7.950
177.455	177.14	-6.450
177.389	177.12	-3.800
177.389	177.12	-3.650
177.239	177.12	-3.650
177.239	177.12	-3.200
177.385	177.1	0.000
177.279	177.07	3.200
177.239	177.07	3.650
177.389	177.07	3.650
177.389	177.07	3.800
177.455	177.05	6.450
177.486	177.04	7.950
177.486	177.04	8.000

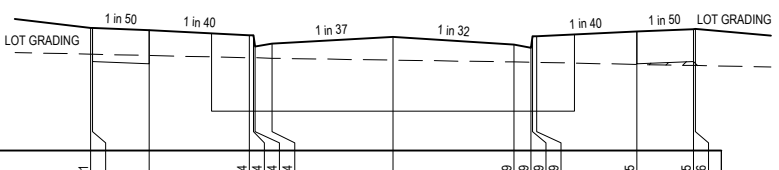
CH 22.618



DATUM RL 175

DESIGN SURFACE	EXISTING SURFACE	OFFSET
177.078	177.07	-8.000
177.077	177.07	-7.950
177.047	177.05	-6.450
176.981	177.02	-3.800
176.981	177.02	-3.650
176.831	177.02	-3.650
176.831	177.02	-3.200
176.977	176.99	0.000
176.871	176.96	3.200
176.831	176.96	3.650
176.831	176.96	3.650
176.981	176.96	3.650
177.047	176.94	6.450
177.077	176.92	7.950
177.078	176.92	8.000

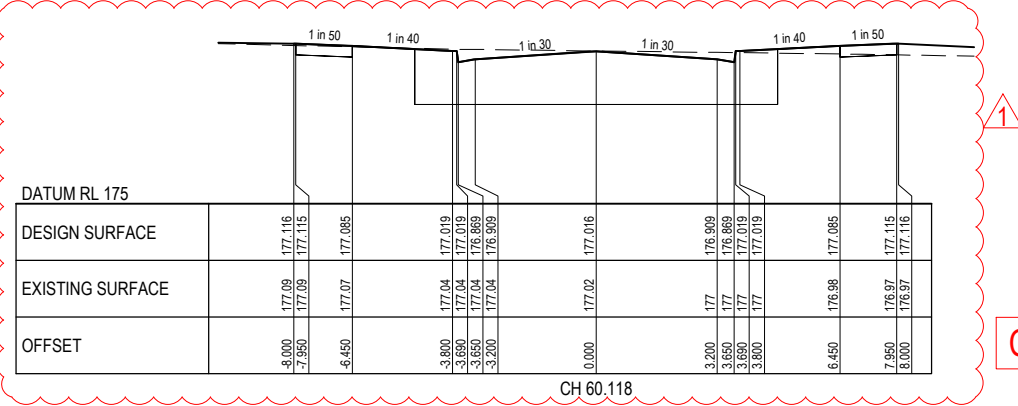
CH 67.769



DATUM RL 176

DESIGN SURFACE	EXISTING SURFACE	OFFSET
177.821	177.23	-8.000
177.821	177.23	-7.950
177.59	177.26	-6.450
177.524	177.22	-3.800
177.524	177.22	-3.650
177.374	177.22	-3.650
177.374	177.22	-3.200
177.5	177.19	0.000
177.399	177.17	3.200
177.359	177.17	3.650
177.509	177.17	3.650
177.509	177.16	3.800
177.575	177.14	6.450
177.605	177.12	7.950
177.606	177.12	8.000

CH 11.918



DATUM RL 175

DESIGN SURFACE	EXISTING SURFACE	OFFSET
177.116	177.09	-8.000
177.115	177.09	-7.950
177.085	177.07	-6.450
177.019	177.04	-3.800
177.019	177.04	-3.650
176.869	177.04	-3.650
176.869	177.04	-3.200
177.016	177.02	0.000
176.909	176.98	3.200
176.869	176.98	3.650
177.019	176.98	3.650
177.019	176.98	3.800
177.085	176.98	6.450
177.115	176.97	7.950
177.116	176.97	8.000

CH 60.118

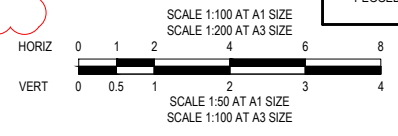
BUTTERNUT STREET



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CONTRACTOR



CONSTRUCTION
 ISSUED FOR CONSTRUCTION

VER	DATE	REVISION	APPD.
1	20/07/2021	CROSS SECTION UPDATED	CSH
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

DENOTES STRUCTURAL FILL COMPACTED TO LEVEL 1 REQUIREMENTS WITH 45DEG ANGLE OF REPOSE SUPPORT
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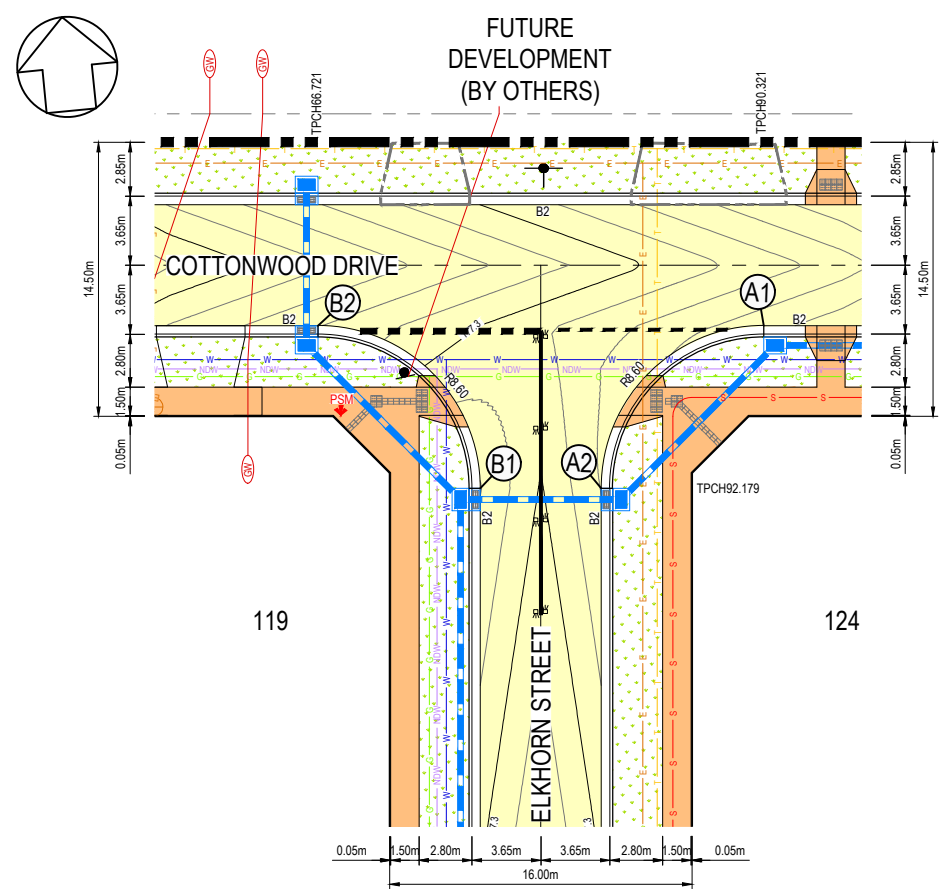
TAYLORS
 Urban Development | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2600 | Web: taylors.com.au

DESIGNED: ALP AUTHORIZED: JOY DRAFTED: BAB
 CHECKED: MIO AUTH. DATE: 04/06/2020 CAD REF: 21408-01-E-108-110

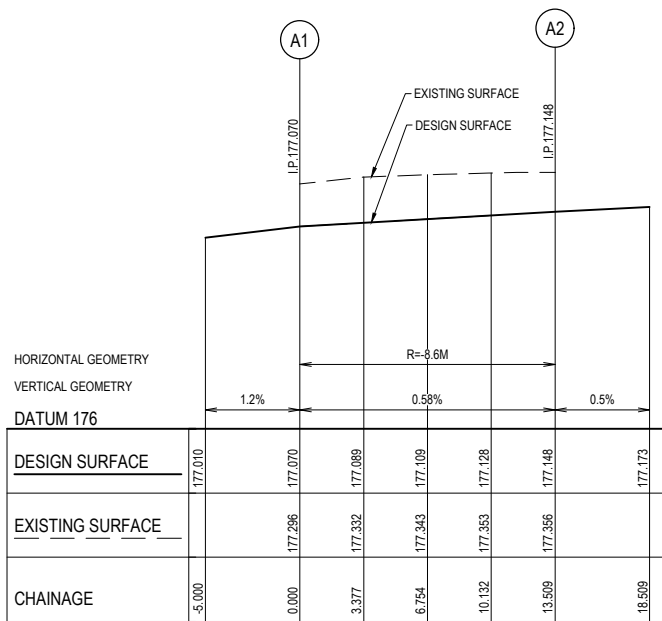
Coords: MGA Levels: AHD

CITY OF WHITTLESEA
 405 EPPING ROAD, WOLLERT VIC 3570
 STAGE 1
 ROAD CROSS SECTIONS
 SHEET 3 OF 3

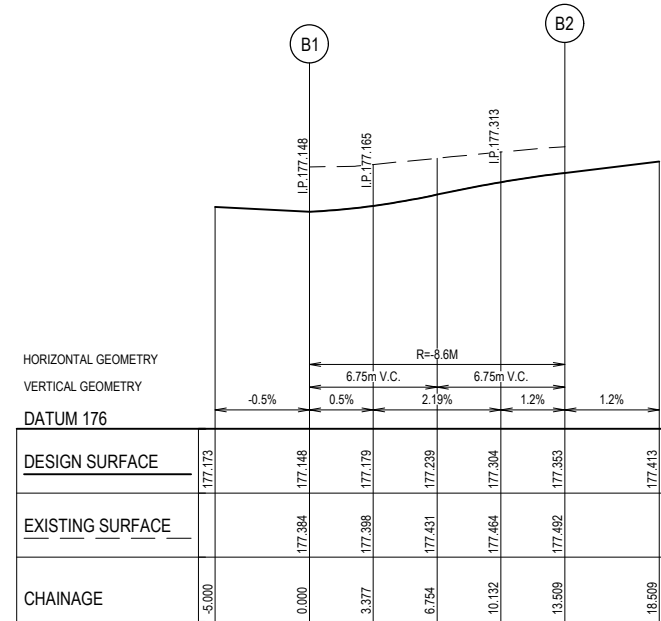
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 VERSION 1
 SHEET 11 OF 19
 DRAWING No. 21408-01-E-110



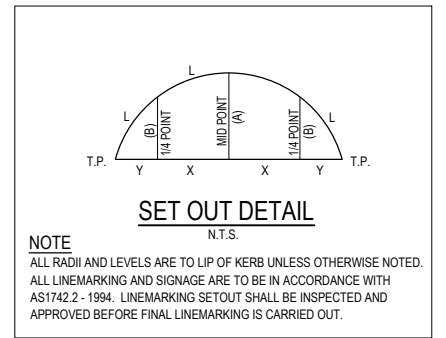
COTTONWOOD DRIVE AND ELKHORN STREET INTERSECTION LAYOUT
SCALE 1:200



LIP PROFILE A
HORI 1 in 20
VERT 1 in 20

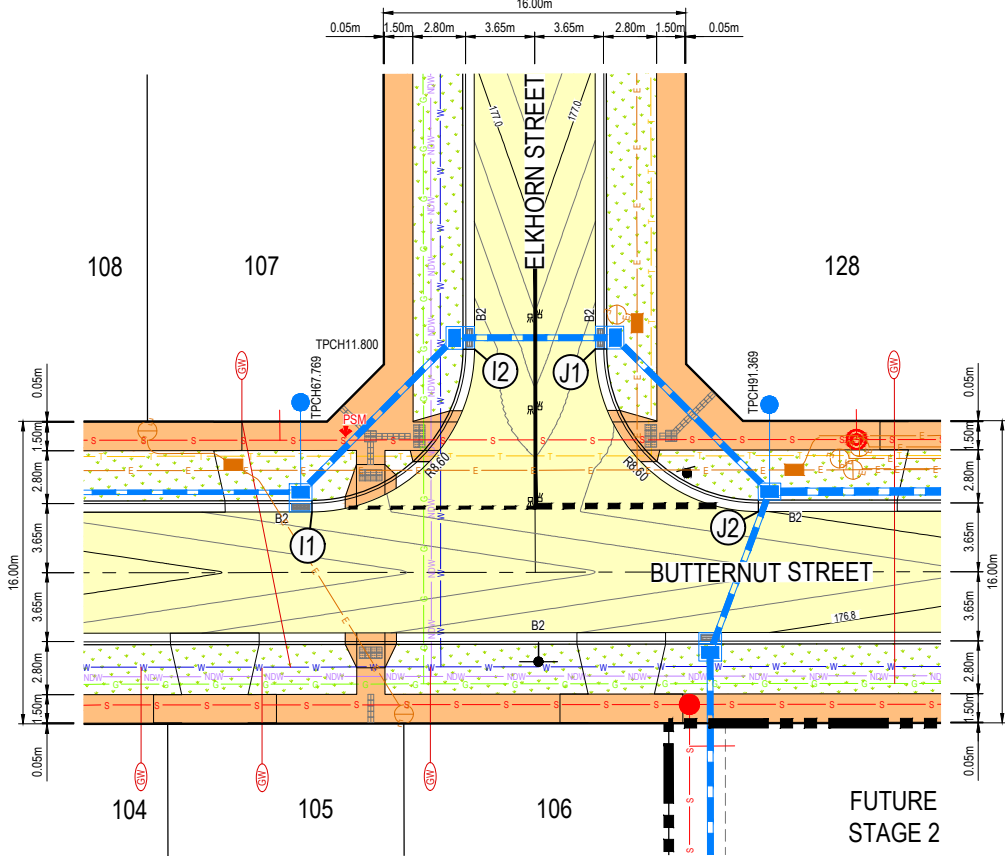


LIP PROFILE B
HORI 1 in 20
VERT 1 in 20

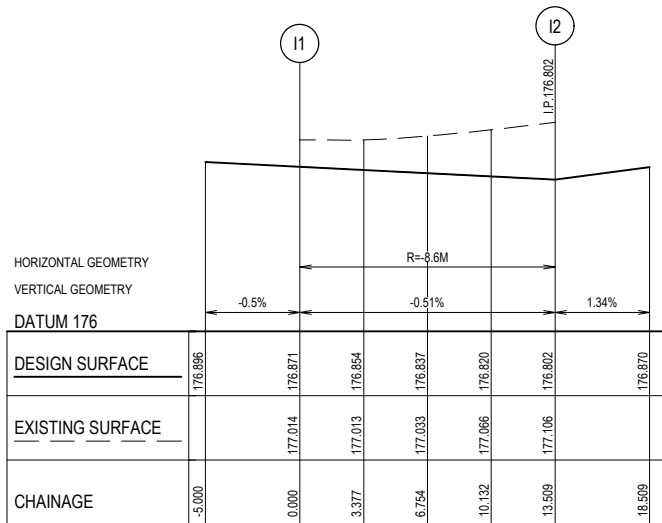


ALIGNMENT A									
POINT NO	EASTING	NORTHING	RL				MID POINT RL		
A1	325988.357	5836614.368	177.07						
A2	325978.914	5836606.704	177.148						
CURVE NO	I	RADIUS	ARC	A	B	X	Y	L	MID POINT RL
B1 - B2	90	8.600	13.509	2.519	1.864	3.291	2.79	3.377	177.239

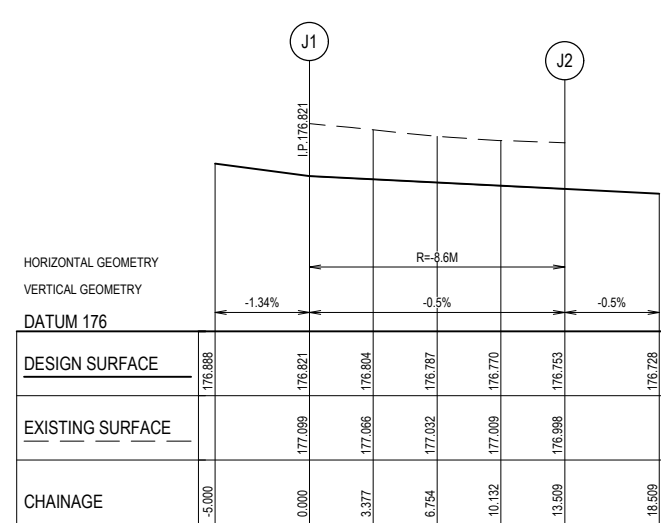
ALIGNMENT B									
POINT NO	EASTING	NORTHING	RL				MID POINT RL		
B1	325972.548	5836607.366	177.148						
B2	325964.884	5836616.810	177.353						
CURVE NO	I	RADIUS	ARC	A	B	X	Y	L	MID POINT RL
B1 - B2	90	8.600	13.509	2.519	1.864	3.291	2.79	3.377	177.239



BUTTERNUT STREET AND ELKHORN STREET INTERSECTION LAYOUT
SCALE 1:200



LIP PROFILE I
HORI 1 in 20
VERT 1 in 20

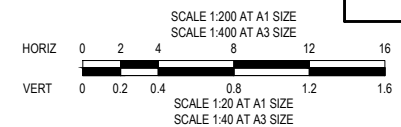


LIP PROFILE J
HORI 1 in 20
VERT 1 in 20

ALIGNMENT I									
POINT NO	EASTING	NORTHING	RL				MID POINT RL		
I1	325954.788	5836519.755	176.871						
I2	325964.231	5836527.419	176.802						
CURVE NO	I	RADIUS	ARC	A	B	X	Y	L	MID POINT RL
I1 - I2	90	8.600	13.509	2.519	1.864	3.291	2.79	3.377	176.837

ALIGNMENT J									
POINT NO	EASTING	NORTHING	RL				MID POINT RL		
J1	325970.597	5836526.757	176.821						
J2	325978.261	5836517.313	176.753						
CURVE NO	I	RADIUS	ARC	A	B	X	Y	L	MID POINT RL
J1 - J2	90	8.600	13.509	2.519	1.864	3.291	2.79	3.377	176.787

CONTRACTOR



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CONSTRUCTION
ISSUED FOR CONSTRUCTION

VER	DATE	REVISION	APPD.
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

PROPOSED NEW PAVEMENT	PROPOSED GAS MAIN	PROPOSED WATER MAIN	STREET NAME SIGN

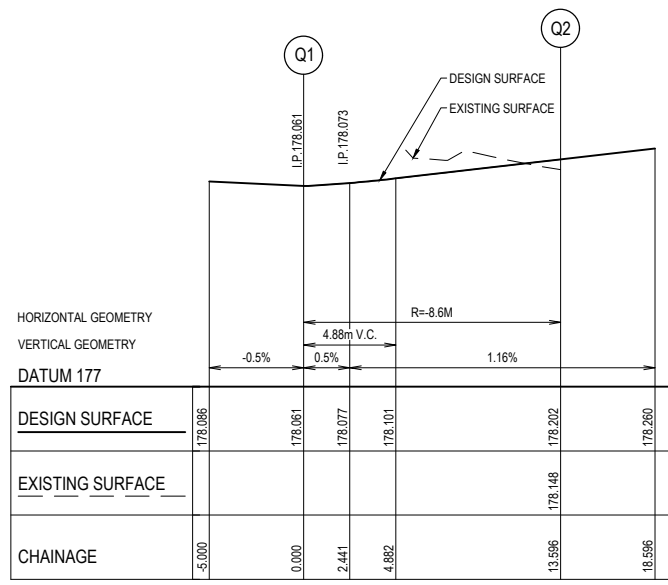
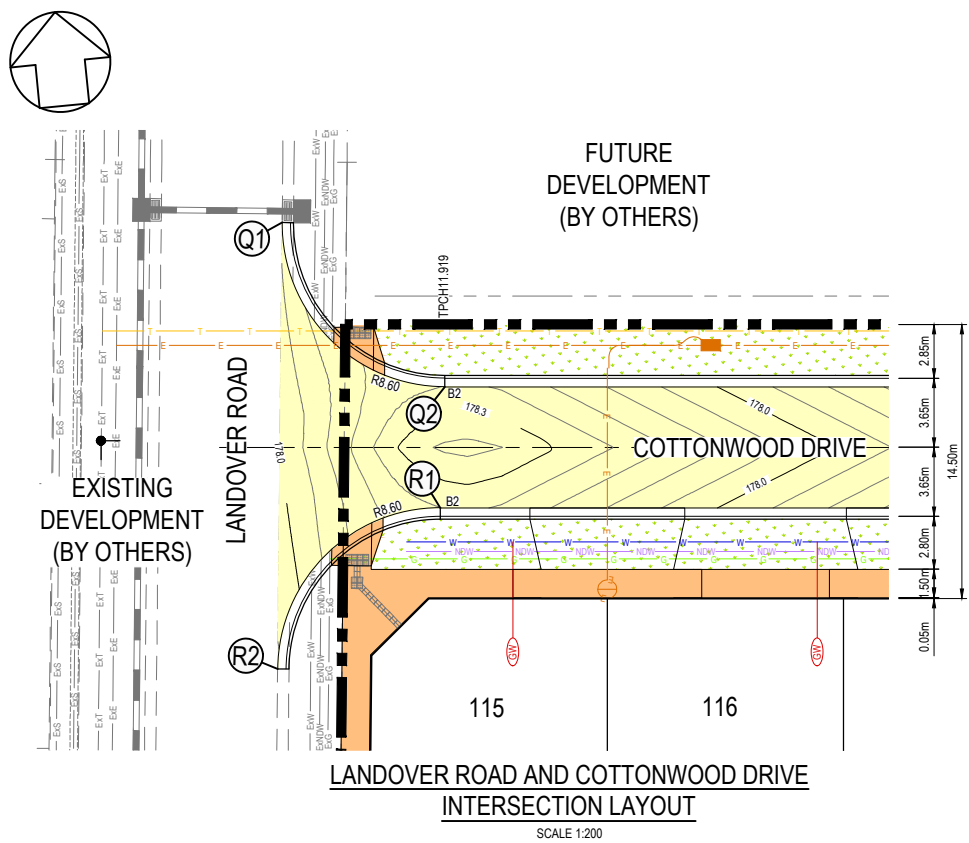
TAYLORS
Urban Development | Infrastructure
8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
Tel: 61 3 9501 2600 | Web: taylors.com.au

DESIGNED: ALP AUTHORIZED: JOY DRAFTED: BAB
CHECKED: MIO AUTH. DATE: 04/06/2020 CAD REF: 21408-01-E-111-12

Coords: MGA Levels: AHD

CITY OF WHITTLESEA
405 EPPING ROAD, WOLLERT VIC 3570
STAGE 1
ROAD INTERSECTION DETAIL PLAN
SHEET 1 OF 2

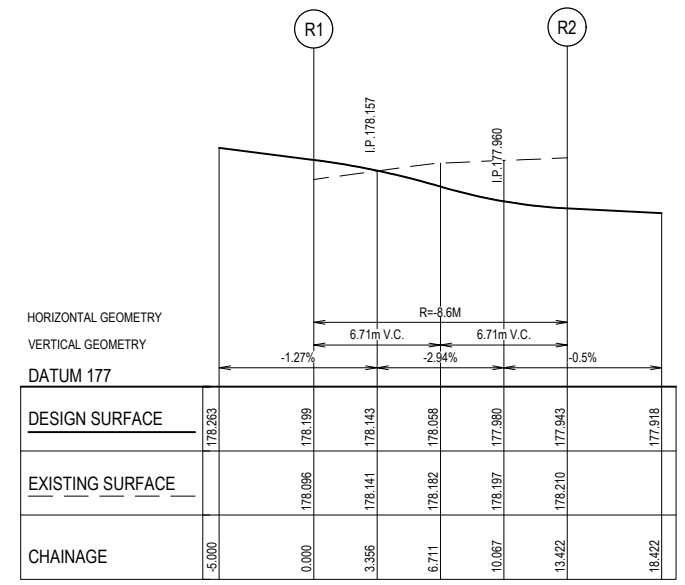
SCALE AS SHOWN @ A1
VERSION 0
SHEET 12 OF 19
DRAWING No. 21408-01-E-111



ALIGNMENT Q

POINT NO	EASTING	NORTHING	RL
Q1	325903.383	5836638.376	178.061
Q2	325911.037	5836628.846	178.202

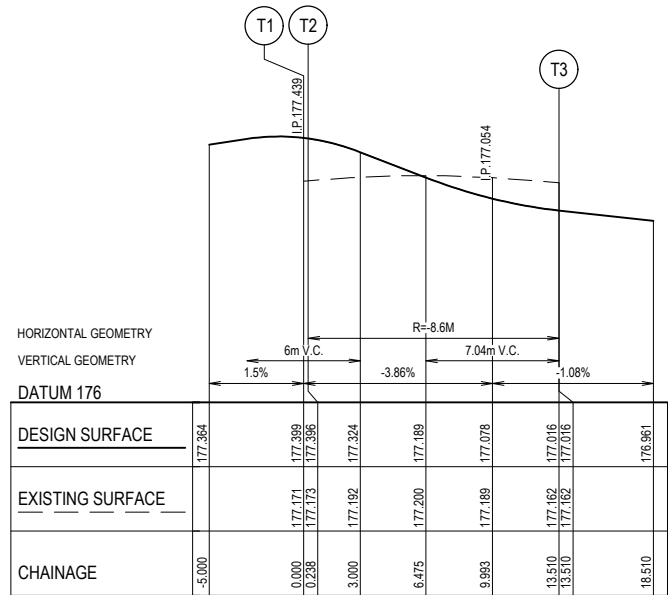
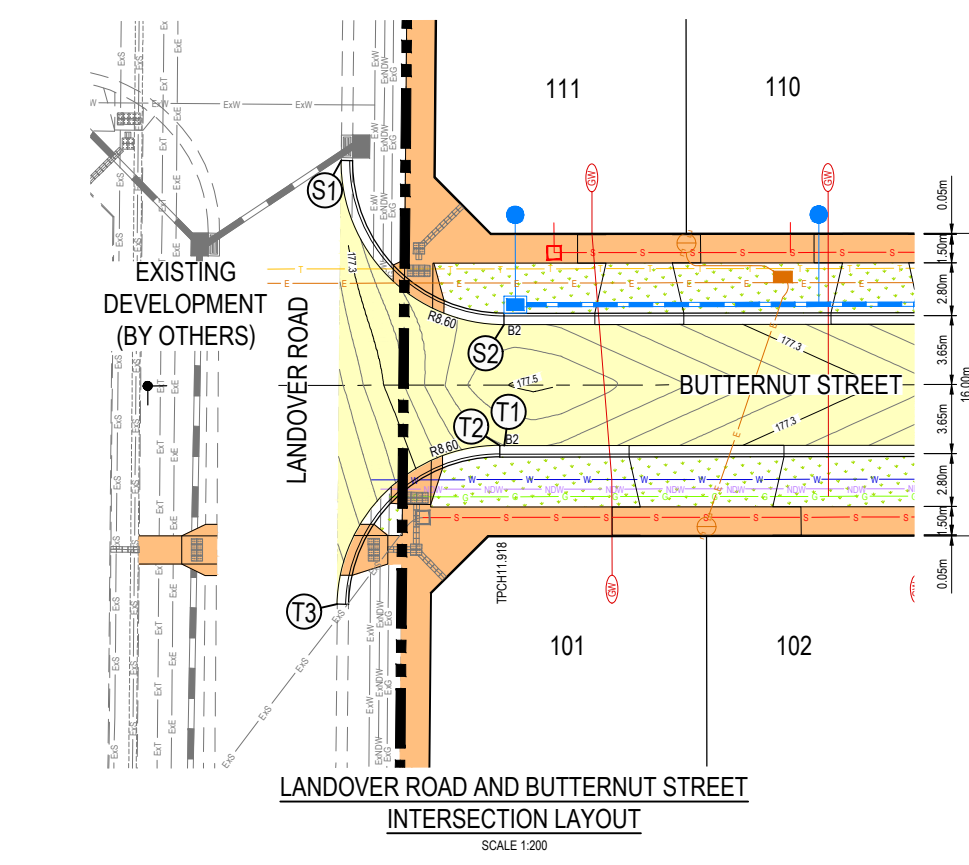
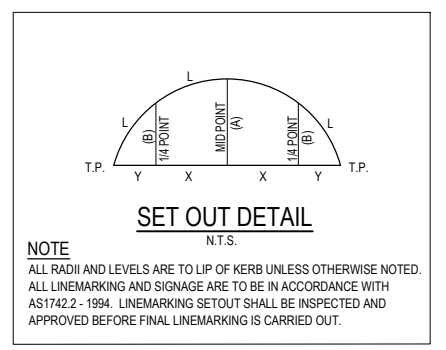
CURVE NO	I	RADIUS	ARC	A	B	X	Y	L	MID POINT RL
Q1 - Q2	90.578	8.600	13.596	2.55	1.887	3.311	2.801	3.399	178.124



ALIGNMENT R

POINT NO	EASTING	NORTHING	RL
R1	325910.139	5836622.505	178.199
R2	325900.704	5836614.927	177.943

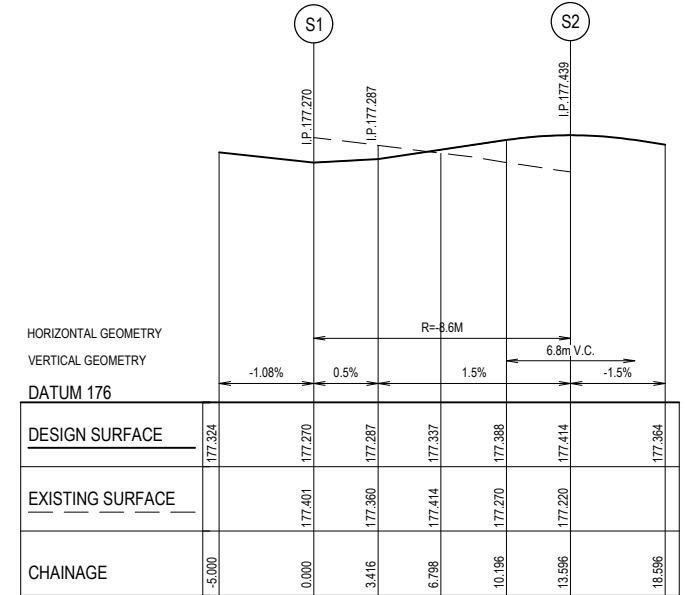
CURVE NO	I	RADIUS	ARC	A	B	X	Y	L	MID POINT RL
R1 - R2	89.422	8.600	13.422	2.488	1.842	3.271	2.779	3.356	178.058



ALIGNMENT S

POINT NO	EASTING	NORTHING	RL
S1	325891.581	5836535.063	177.27
S2	325899.236	5836525.533	177.414

CURVE NO	I	RADIUS	ARC	A	B	X	Y	L	MID POINT RL
S1 - S2	90.578	8.600	13.596	2.55	1.887	3.311	2.801	3.399	177.337



ALIGNMENT T

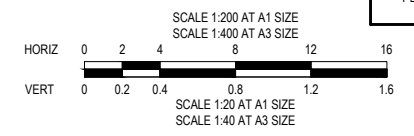
POINT NO	EASTING	NORTHING	RL
T1	325898.574	5836519.168	177.399
T2	325898.337	5836519.192	177.396
T3	325888.921	5836511.764	177.016

CURVE NO	I	RADIUS	ARC	A	B	X	Y	L	MID POINT RL
T2 - T3	88.423	8.600	13.272	2.436	1.804	3.236	2.761	3.318	177.174

WARNING
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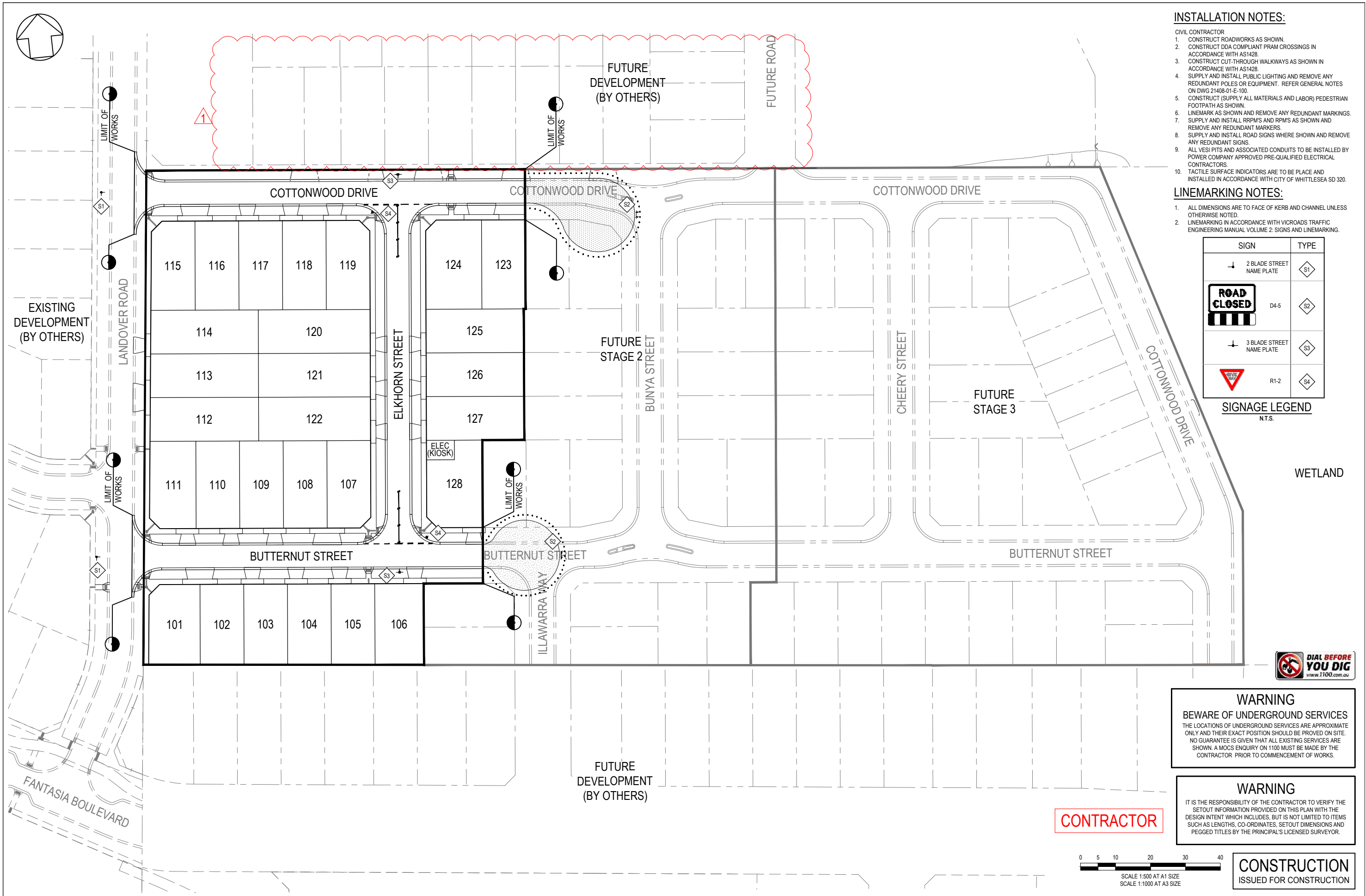
WARNING
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CONTRACTOR



CONSTRUCTION
ISSUED FOR CONSTRUCTION

0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO	PROPOSED NEW PAVEMENT	PROPOSED GAS MAIN	STREET NAME SIGN	TAYLORS	CITY OF WHITTLESEA	SCALE AS SHOWN @ A1
				PROPOSED NON-DRINKING WATER	PROPOSED ELECTRICITY CABLE & PIT	PROPOSED GAS & WATER CONDUIT	8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168	STAGE 1	VERSION 0
				PROPOSED TELCO CABLE	PROPOSED SEWER MAIN & M.H.		Tel: 61 3 9501 2600 Web: taylors.com.au	ROAD INTERSECTION DETAIL PLAN	SHEET 13 OF 19
				PROPOSED DRAIN, PIT & PROPERTY INLET				STAGE 1	DRAWING No.
VER	DATE	REVISION	APPD.	LEGEND	COORDS: MGA	LEVELS: AHD	DESIGNED: ALP	7 ROAD INTERSECTION DETAIL PLAN	21408-01-E-112
							AUTHORISED: JOY	SHEET 2 OF 2	
							AUTH. DATE: 04/06/2020		
							DRAFTED: BAB		
							CAD REF: 21408-01-E-111-112		



- INSTALLATION NOTES:**
- CIVIL CONTRACTOR
 - CONSTRUCT ROADWORKS AS SHOWN
 - CONSTRUCT DDA COMPLIANT PRAM CROSSINGS IN ACCORDANCE WITH AS1428.
 - CONSTRUCT CUT-THROUGH WALKWAYS AS SHOWN IN ACCORDANCE WITH AS1428.
 - SUPPLY AND INSTALL PUBLIC LIGHTING AND REMOVE ANY REDUNDANT POLES OR EQUIPMENT. REFER GENERAL NOTES ON DWG 21408-01-E-100.
 - CONSTRUCT (SUPPLY ALL MATERIALS AND LABOR) PEDESTRIAN FOOTPATH AS SHOWN.
 - LINEMARK AS SHOWN AND REMOVE ANY REDUNDANT MARKINGS.
 - SUPPLY AND INSTALL RRPMS AND RPMs AS SHOWN AND REMOVE ANY REDUNDANT MARKERS.
 - SUPPLY AND INSTALL ROAD SIGNS WHERE SHOWN AND REMOVE ANY REDUNDANT SIGNS.
 - ALL VESI PITS AND ASSOCIATED CONDUITS TO BE INSTALLED BY POWER COMPANY APPROVED PRE-QUALIFIED ELECTRICAL CONTRACTORS.
 - TACTILE SURFACE INDICATORS ARE TO BE PLACE AND INSTALLED IN ACCORDANCE WITH CITY OF WHITTLESEA SD 320.

- LINEMARKING NOTES:**
- ALL DIMENSIONS ARE TO FACE OF KERB AND CHANNEL UNLESS OTHERWISE NOTED.
 - LINEMARKING IN ACCORDANCE WITH VICROADS TRAFFIC ENGINEERING MANUAL VOLUME 2: SIGNS AND LINEMARKING.

SIGN	TYPE
	S1
	D4-5
	S3
	R1-2
	S4

SIGNAGE LEGEND
N.T.S.

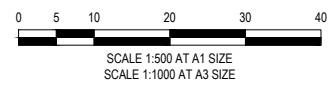
WETLAND



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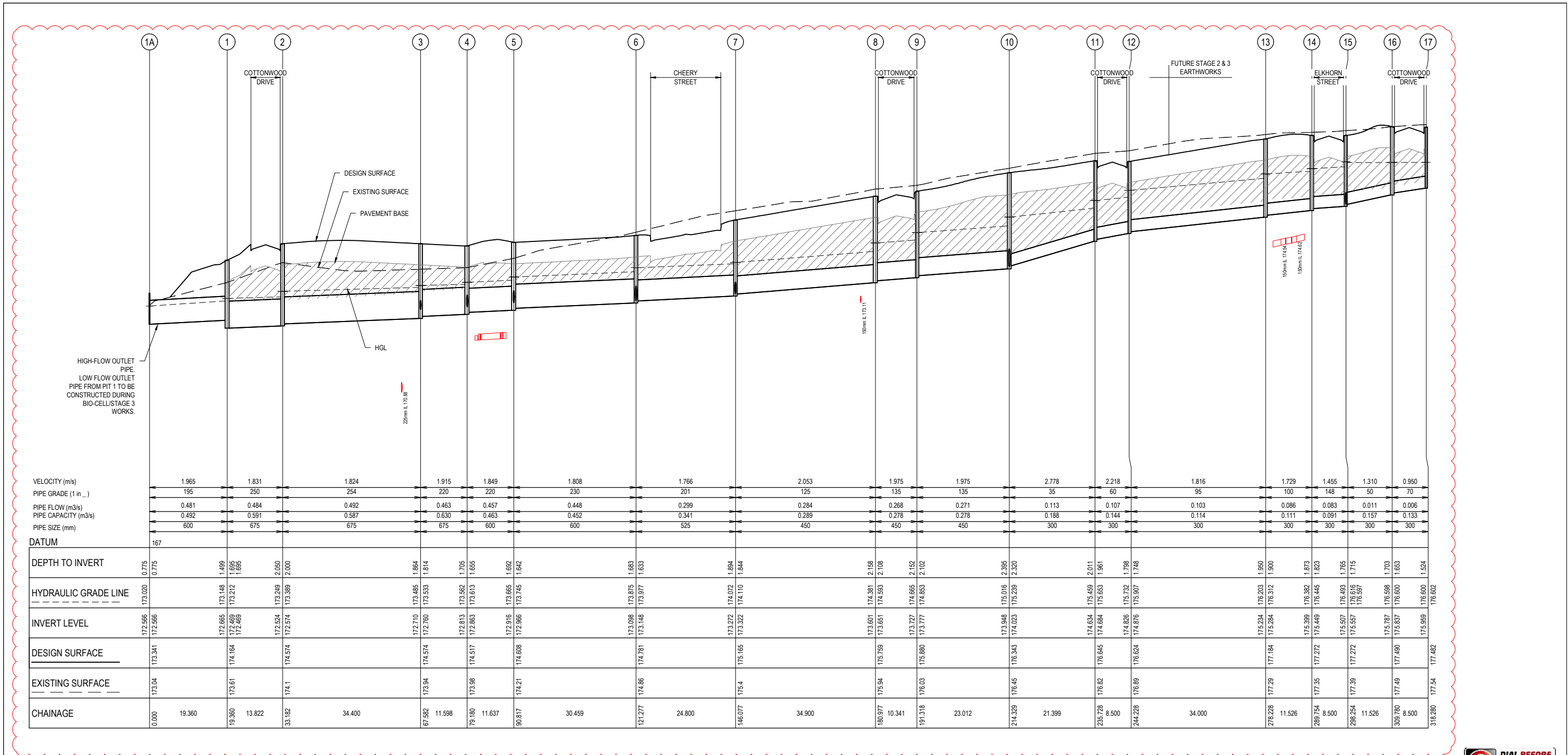
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CONTRACTOR



CONSTRUCTION
ISSUED FOR CONSTRUCTION

<table border="1"> <tr> <td>1</td> <td>02/12/2021</td> <td>NORTHERN INTERFACE ADDED</td> <td>WJB</td> </tr> <tr> <td>0</td> <td>12/01/2020</td> <td>ISSUED FOR CONSTRUCTION</td> <td>MIO</td> </tr> <tr> <td>VER</td> <td>DATE</td> <td>REVISION</td> <td>APPD.</td> </tr> </table>		1	02/12/2021	NORTHERN INTERFACE ADDED	WJB	0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO	VER	DATE	REVISION	APPD.	<p>TGSI (TACTILE GROUND SURFACE INDICATORS)</p> <p>300mm WIDE GIVE WAY HOLDING LINE</p> <p>200mm WIDE GIVE WAY HOLDING LINE</p> <p>100mm WIDE BARRIER LINE</p> <p>RAISED REFLECTIVE PAVEMENTS MARKERS</p>	<p>TAYLORS Urban Development Infrastructure 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2600 Web: taylorads.com.au</p> <p>DESIGNED: ALP AUTHORIZED: JOY DRAFTED: BAB CHECKED: MIO AUTH. DATE: 04/06/2020 CAD REF: 21408-01-E-113</p>	<p>CITY OF WHITTLESEA 405 EPPING ROAD, WOLLERT VIC 3570 STAGE 1 SIGNS AND LINEMARKING PLAN</p>	<p>SCALE 1:500 @ A1 VERSION 0 SHEET 14 OF 19 DRAWING No. 21408-01-E-113</p>
1	02/12/2021	NORTHERN INTERFACE ADDED	WJB														
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO														
VER	DATE	REVISION	APPD.														



DATUM	167
DEPTH TO INVERT	0.775
HYDRAULIC GRADE LINE	173.020
INVERT LEVEL	172.566
DESIGN SURFACE	173.341
EXISTING SURFACE	173.04
CHAINAGE	0.000

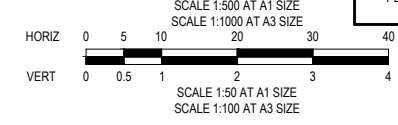


- NOTES**
- PIPES ARE TO BE CLASS 2 AND RRJ UNLESS NOTED OTHERWISE.
 - STRUCTURAL FILL USED ONLY WHEN EXISTING SURFACE IS BELOW FOOTPATH.

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CONTRACTOR



CONSTRUCTION
 ISSUED FOR CONSTRUCTION

VER	DATE	REVISION	APPD.
2	10/11/2021	DRAINAGE LONGITUDINAL SECTION UPDATED	WJB
1	20/07/2021	DRAINAGE LONGITUDINAL SECTION UPDATED	CSH
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

LEGEND
 DENOTES 20mm CLASS 2 FOR BACKFILL

TAYLORS
 Urban Development | Infrastructure
 8/270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2600 | Web: taylorso.com.au

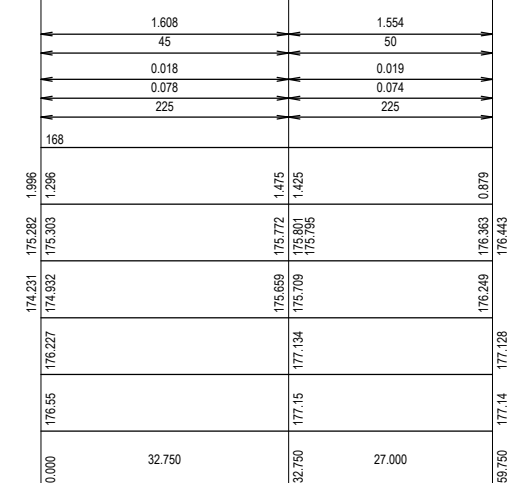
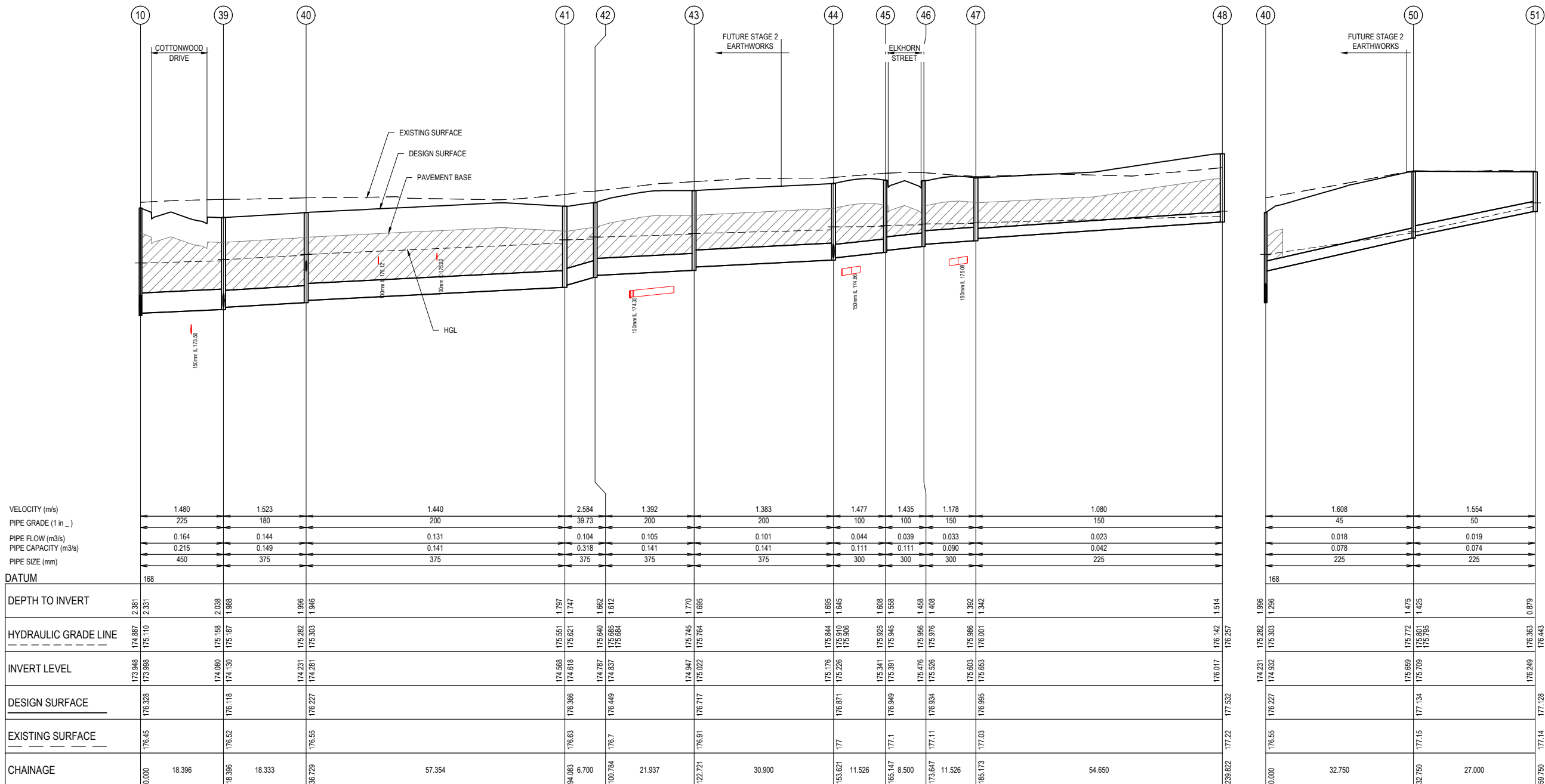
DESIGNED: ALP	AUTHORISED: JOY	DRAFTED: BAB
CHECKED: MIO	AUTH. DATE: 04/06/2020	CAD REF: 21408-01-E-114-116

CITY OF WHITTLESEA
 405 EPPING ROAD, WOLLERT VIC 3570
STAGE 1
 DRAINAGE LONGITUDINAL SECTIONS
 SHEET 1 OF 3

SCALE 1:500 H, 1:50 V @A1
 VERSION 2
 SHEET 15 OF 19
 DRAWING No.
21408-01-E-114

NOTES

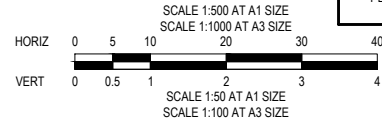
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CONSTRUCTION
 ISSUED FOR CONSTRUCTION

VER	DATE	REVISION	APPD.
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

LEGEND
 DENOTES 20mm CLASS 2 FOR BACKFILL

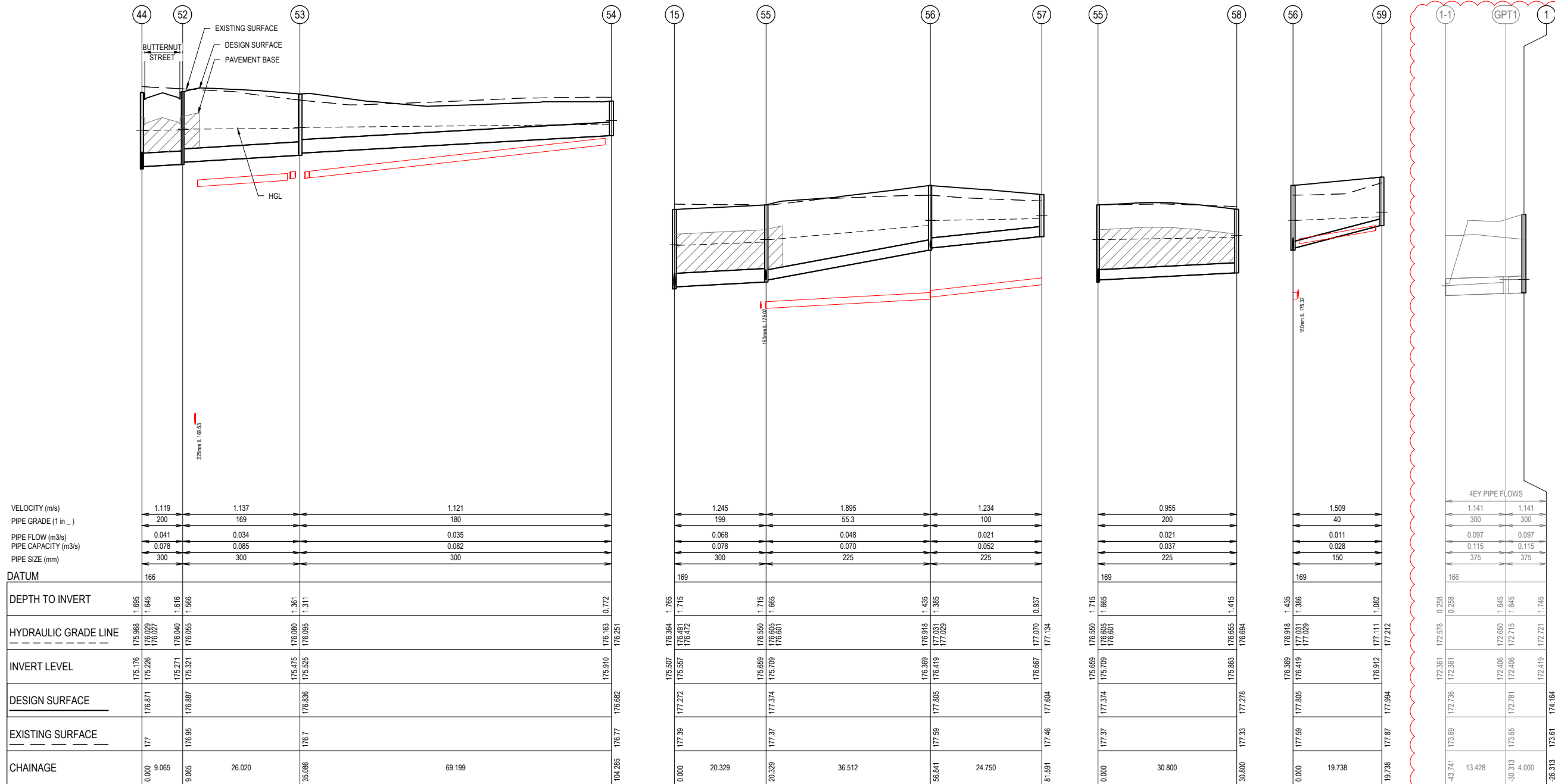
TAYLORS
 Urban Development | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2600 | Web: taylorso.com.au

DESIGNED: ALP	AUTHORISED: JOY	DRAFTED: BAB
CHECKED: MIO	AUTH. DATE: 04/06/2020	CAD REF: 21408-01-E-114-116

CITY OF WHITTLESEA	SCALE 1:500 H, 1:50 V @A1
405 EPPING ROAD, WOLLERT VIC 3570	VERSION 0
STAGE 1	SHEET 16 OF 19
DRAINAGE LONGITUDINAL SECTIONS	DRAWING No.
SHEET 2 OF 3	21408-01-E-115

NOTES

- PIPES ARE TO BE CLASS 2 AND RRJ UNLESS NOTED OTHERWISE.
- STRUCTURAL FILL USED ONLY WHEN EXISTING SURFACE IS BELOW FOOTPATH.
- THE DRAINAGE SECTION BETWEEN PIT 1 AND 1-1 IS TO BE CONSTRUCTED AS PART OF THE FUTURE BIO-CELL WORKS



VELOCITY (m/s)	1.119	1.137	1.121
PIPE GRADE (1 in ...)	200	169	180
PIPE FLOW (m ³ /s)	0.041	0.034	0.035
PIPE CAPACITY (m ³ /s)	0.078	0.085	0.082
PIPE SIZE (mm)	300	300	300
DATUM	166		
DEPTH TO INVERT	1.695 1.645	1.616 1.566	1.361 1.311
HYDRAULIC GRADE LINE	175.968 176.029 176.027	176.040 176.055	176.080 176.095
INVERT LEVEL	175.176 175.226	175.271 175.321	175.475 175.525
DESIGN SURFACE	176.871	176.887	176.836
EXISTING SURFACE	177	176.95	176.7
CHAINAGE	0.000 9.065	26.020	69.199

DEPTH TO INVERT	1.765 1.715	1.715 1.665	1.435 1.385
HYDRAULIC GRADE LINE	176.364 176.491 176.472	176.550 176.605 176.601	176.918 177.031 177.029
INVERT LEVEL	175.507 175.557	175.659 175.709	176.369 176.419
DESIGN SURFACE	177.272	177.374	177.805
EXISTING SURFACE	177.39	177.37	177.59
CHAINAGE	20.329	36.512	56.841

DEPTH TO INVERT	1.715 1.665	1.415
HYDRAULIC GRADE LINE	176.550 176.605 176.601	176.655 176.694
INVERT LEVEL	175.659 175.709	176.369
DESIGN SURFACE	177.374	177.276
EXISTING SURFACE	177.37	177.33
CHAINAGE	30.800	30.800

DEPTH TO INVERT	1.435 1.386	1.082
HYDRAULIC GRADE LINE	176.369 176.419 177.029	177.111 177.212
INVERT LEVEL	176.369 176.419	175.912
DESIGN SURFACE	177.805	177.994
EXISTING SURFACE	177.59	177.87
CHAINAGE	19.738	19.738

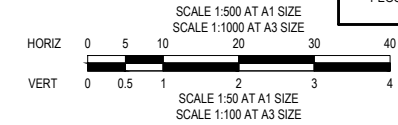
4EY PIPE FLOWS	
1.141	1.141
300	300
0.097	0.097
0.115	0.115
375	375
166	
DEPTH TO INVERT	0.258 0.258
HYDRAULIC GRADE LINE	172.361 172.361
INVERT LEVEL	172.361 172.361
DESIGN SURFACE	172.736
EXISTING SURFACE	173.69
CHAINAGE	43.741 13.428



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CONSTRUCTION
 ISSUED FOR CONSTRUCTION

VER	DATE	REVISION	APPD.
2	10/11/2021	DRAINAGE LONGITUDINAL SECTION UPDATED	CSH
1	20/07/2021	DRAINAGE LONGITUDINAL SECTION UPDATED	CSH
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

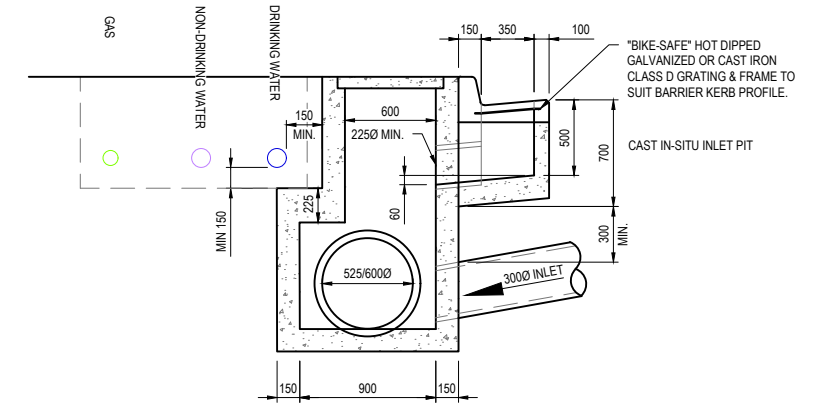
LEGEND	
	DENOTES 20mm CLASS 2 FCR BACKFILL

TAYLORS Urban Development Infrastructure 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2800 Web: taylors.com.au			
DESIGNED: ALP	AUTHORISED: JOY	DRAFTED: BAB	
CHECKED: MIO	AUTH. DATE: 04/06/2020	CAD REF: 21408-01-E-114-116	

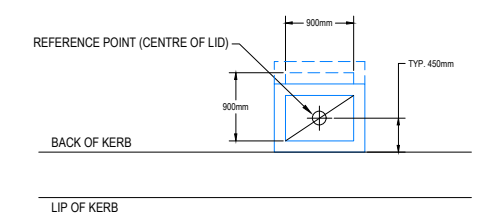
CITY OF WHITTLESEA		SCALE 1:500 H, 1:50 V @A1
405 EPPING ROAD, WOLLERT VIC 3570		VERSION 2
STAGE 1		SHEET 17 OF 19
DRAINAGE LONGITUDINAL SECTIONS		DRAWING No.
SHEET 3 OF 3		21408-01-E-116

PIT SCHEDULE												REMARKS
PIT				INTERNAL		INLET		OUTLET		PIT		
NAME	TYPE	EASTING	NORTHING	WD	LEN	DIA	INV LEV	DIA	INV LEV	SETOUT RL	DEPTH	
1A	EW	326216.331	5836542.932	-	-	600	172.566			173.341	0.775	CONSTRUCT OUTFALL AS PER MW SD 7251-08-103
1	JP	326197.522	5836547.516	0.6	0.9	675	172.469	600	172.665	174.164	1.499	CONSTRUCT AS PER EDCM 605. PROVIDE 375mm BLOCKOUT @ IL172.419 ON SOUTH WALL FOR FUTURE CONNECTION
2	JP(FUT. GSEP)	326184.259	5836543.625	0.9	0.9	675	172.574	675	172.524	174.574	2.05	CONSTRUCT AS PER EDCM 605 AND HAUNCH AS PER TYPICAL DETAIL. PIT TO BE MODIFIED INTO GSEP IN STAGE 3.
3	JP	326174.575	5836576.634	0.9	0.9	675	172.76	675	172.71	174.574	1.864	CONSTRUCT AS PER EDCM 605 AND HAUNCH AS PER TYPICAL DETAIL. PROVIDE 225mm BLOCKOUT @ IL172.934 ON WEST WALL FOR FUTURE CONNECTION
4	JP(FUT. GSEP)	326171.31	5836587.763	0.9	0.9	600	172.863	675	172.813	174.517	1.705	CONSTRUCT AS PER EDCM 605 AND HAUNCH AS PER TYPICAL DETAIL. PIT TO BE MODIFIED INTO GSEP IN STAGE 3.
5	JP(FUT. GSEP)	326162.368	5836595.211	0.9	0.9	600	172.966	600	172.916	174.608	1.692	CONSTRUCT AS PER EDCM 605 AND HAUNCH AS PER TYPICAL DETAIL. PROVIDE 300mm BLOCKOUT @ IL173.103 ON NORTH WALL FOR FUTURE CONNECTION. PIT TO BE MODIFIED INTO GSEP IN STAGE 3.
6	JP	326132.072	5836598.362	0.9	0.9	525	173.148	600	173.098	174.781	1.683	CONSTRUCT AS PER EDCM 605 AND HAUNCH AS PER TYPICAL DETAIL. PROVIDE 375mm BLOCKOUT @ IL173.148 ON SOUTH WALL FOR FUTURE CONNECTION
7	JP(FUT. GSEP)	326107.406	5836600.928	0.9	0.9	450	173.322	525	173.272	175.165	1.894	CONSTRUCT AS PER EDCM 605, HAUNCH AS PER TYPICAL DETAIL AND PROVIDE CLASS D COVER. PIT TO BE MODIFIED INTO GSEP IN STAGE 3.
8	JP	326072.693	5836604.539	0.9	0.9	450	173.651	450	173.601	175.759	2.158	CONSTRUCT AS PER EDCM 605
9	JP	326067.714	5836613.603	0.6	0.9	450	173.777	450	173.727	175.88	2.152	CONSTRUCT AS PER EDCM 605
10	JP	326044.826	5836615.984	0.6	0.9	300	174.023	450	173.948	176.343	2.395	CONSTRUCT AS PER EDCM 605
11	JP(FUT. GSEP)	326023.542	5836618.198	0.6	0.9	300	174.684	300	174.634	176.645	2.011	CONSTRUCT AS PER EDCM 605 AND PROVIDE CLASS D COVER. PIT TO BE MODIFIED INTO GSEP IN STAGE 2.
12	JP(FUT. GSEP)	326022.663	5836609.744	0.6	0.9	300	174.876	300	174.826	176.624	1.798	CONSTRUCT AS PER EDCM 605 AND PROVIDE CLASS D COVER. PIT TO BE MODIFIED INTO GSEP IN STAGE 2.
13	JP	325988.845	5836613.262	0.6	0.9	300	175.284	300	175.234	177.184	1.95	CONSTRUCT AS PER EDCM 605
14	GSEP	325979.896	5836605.999	0.6	0.9	300	175.449	300	175.399	177.272	1.873	CONSTRUCT AS PER EDCM 601
15	GSEP	325971.441	5836606.878	0.9	0.6	300	175.557	300	175.507	177.272	1.765	CONSTRUCT AS PER EDCM 601
16	GSEP	325964.178	5836615.828	0.6	0.9	300	175.837	300	175.787	177.49	1.703	CONSTRUCT AS PER EDCM 601
17	GSEP	325965.058	5836624.282	0.9	0.6	300	175.959	300	175.909	177.482	1.524	CONSTRUCT AS PER EDCM 601
39	JP(FUT. GSEP)	326042.874	5836597.692	0.6	0.9	375	174.13	450	174.08	176.118	2.038	CONSTRUCT AS PER EDCM 605. PROVIDE 300mm BLOCKOUT @ IL174.130 ON EAST WALL FOR FUTURE CONNECTION. PIT TO BE MODIFIED INTO GSEP IN STAGE 2.
40	JP	326040.977	5836579.457	0.6	0.9	375	174.281	375	174.231	176.227	1.996	CONSTRUCT AS PER EDCM 605
41	JP(FUT. GSEP)	326035.043	5836522.411	0.6	0.9	375	174.618	375	174.568	176.366	1.797	CONSTRUCT AS PER EDCM 605. PIT TO BE MODIFIED INTO GSEP IN STAGE 2.
42	JP	326031.581	5836516.674	0.6	0.9	375	174.837	375	174.787	176.449	1.662	CONSTRUCT AS PER EDCM 605 AND PROVIDE CLASS D COVER
43	JP(FUT. GSEP)	326009.701	5836515.098	0.6	0.9	375	175.022	375	174.947	176.717	1.77	CONSTRUCT AS PER EDCM 605. PIT TO BE MODIFIED INTO GSEP IN STAGE 2.
44	JP	325978.966	5836518.295	0.6	0.9	300	175.226	375	175.176	176.871	1.695	CONSTRUCT AS PER EDCM 605
45	GSEP	325971.703	5836527.245	0.9	0.6	300	175.391	300	175.341	176.949	1.608	CONSTRUCT AS PER EDCM 601
46	GSEP	325963.249	5836528.124	0.9	0.6	300	175.526	300	175.476	176.934	1.458	CONSTRUCT AS PER EDCM 601
47	GSEP	325954.299	5836520.861	0.6	0.9	225	175.653	300	175.603	176.995	1.392	CONSTRUCT AS PER EDCM 601
48	JP	325899.943	5836526.516	0.6	0.9			225	176.017	177.532	1.514	CONSTRUCT AS PER EDCM 605
50	JP	326008.403	5836582.846	0.6	0.9	225	175.709	225	175.659	177.134	1.475	CONSTRUCT AS PER EDCM 605
51	JP	326005.610	5836555.991	0.6	0.9			225	176.249	177.128	0.879	CONSTRUCT AS PER EDCM 605
52	GSEP	325974.953	5836510.167	0.9	0.6	300	175.321	300	175.271	176.887	1.616	CONSTRUCT AS PER EDCM 601
53	JP	325972.268	5836484.285	0.6	0.9	300	175.525	300	175.475	176.927	1.361	CONSTRUCT AS PER EDCM 605
54	JP	325903.475	5836491.775	0.6	0.9			300	175.91	176.772	0.772	CONSTRUCT AS PER EDCM 605
55	JP	325969.338	5836586.658	0.6	0.9	225	175.709	300	175.659	177.374	1.715	CONSTRUCT AS PER EDCM 605
56	JP	325933.022	5836590.436	0.9	0.6	225	176.419	225	176.369	177.805	1.435	CONSTRUCT AS PER EDCM 605
57	JP	325930.461	5836565.819	0.6	0.9	150	176.419			177.604	0.937	CONSTRUCT AS PER EDCM 605
58	JP	325966.151	5836556.024	0.6	0.9			225	175.863	177.278	1.415	CONSTRUCT AS PER EDCM 605
59	JP	325913.39	5836582.478	0.6	0.9			150	176.912	177.994	1.082	CONSTRUCT AS PER EDCM 605

NOTE:
1. XY SETOUT TO PIT CENTRE
2. SETOUT LEVEL TO PIT COVER LEVEL
3. SOME SETOUT XY OR Z LEVELS HAVE SPECIAL SETOUT DATA. SEE INDIVIDUAL MANHOLE REMARKS
4. ALL PITS LOCATED IN FUTURE STAGES ARE TO BE CONSTRUCTED AS A JP (EDCM 605) AND TO FINISHED SURFACE LEVELS
5. FILL IS TO BE PROVIDED AROUND THE PITS WHERE TOP OF PITS ARE ABOVE ES LEVELS
6. NO PONDING IS TO OCCUR WHERE PITS ARE BELOW ES LEVELS



TYPICAL DETAIL
HAUNCHED PIT
SCALE 1:25 @ A1



PIT SETOUT POINT
SCALE 1:50 @ A1

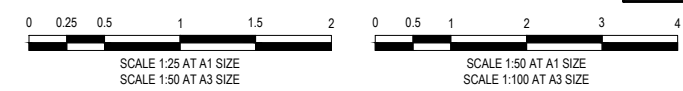
LEGEND:
JP JUNCTION PIT
GSEP GRATED SIDE ENTRY PIT
DGSEP DOUBLE GRATE SIDE ENTRY PIT



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IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE SETOUT INFORMATION PROVIDED ON THIS PLAN WITH THE DESIGN INTENT WHICH INCLUDES, BUT IS NOT LIMITED TO ITEMS SUCH AS LENGTHS, CO-ORDINATES, SETOUT DIMENSIONS AND PEGGED TITLES BY THE PRINCIPAL'S LICENSED SURVEYOR.

CONTRACTOR



CONSTRUCTION
ISSUED FOR CONSTRUCTION

VER	DATE	REVISION	APPD.
2	10/11/2021	DRAINAGE PIT SCHEDULE UPDATED	WJB
1	20/07/2021	DRAINAGE PIT SCHEDULE UPDATED	CSH
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

Coords: MGA	Levels: AHD
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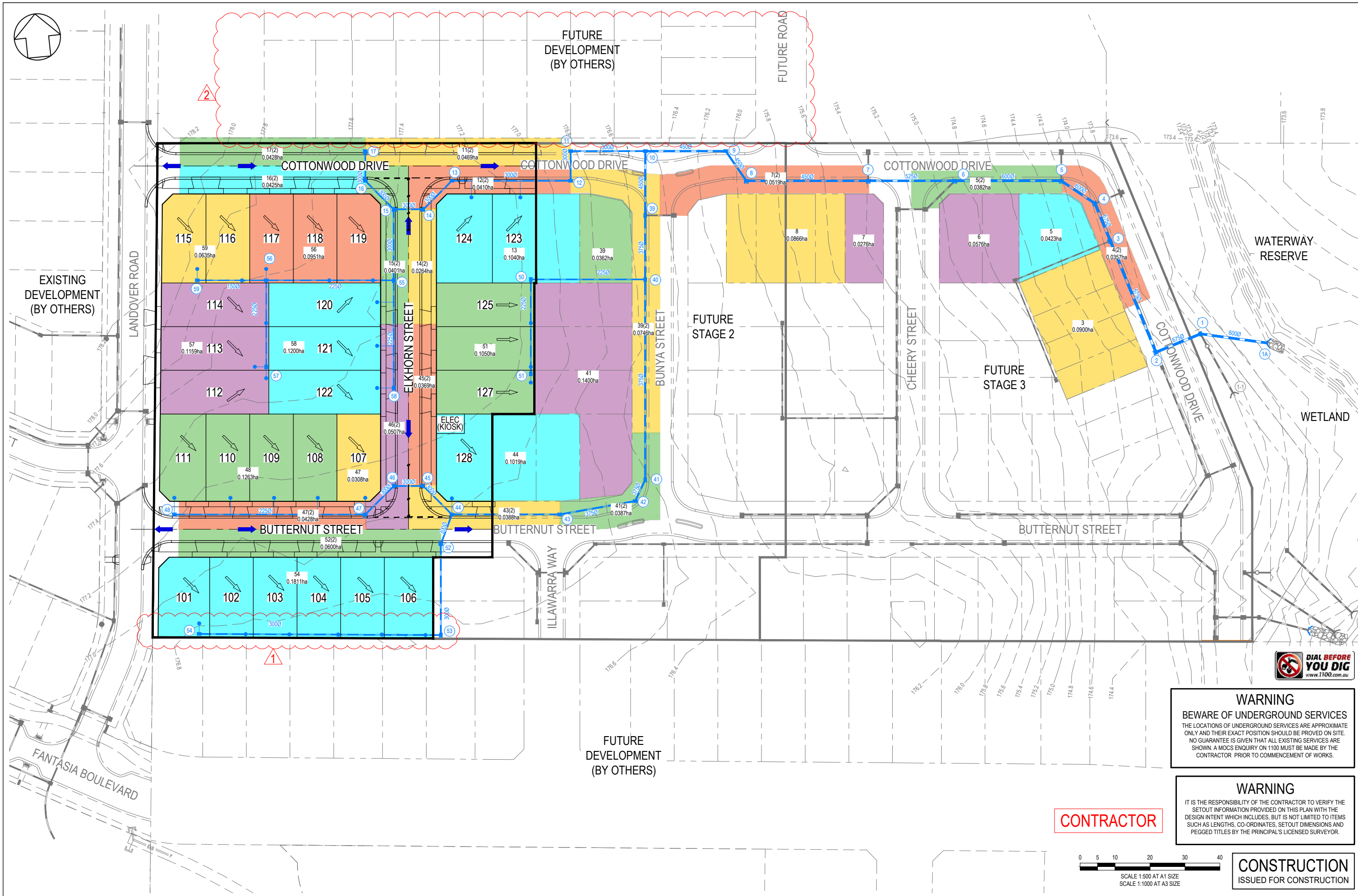
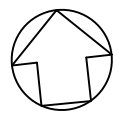
TAYLORS
Urban Development | Infrastructure
8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
Tel: 61 3 9501 2600 | Web: taylors.com.au

DESIGNED: ALP AUTHORIZED: JOY DRAFTED: BAB
CHECKED: MIO AUTH. DATE: 04/06/2020 CAD REF: 21408-01-E-117

CITY OF WHITTLESEA
405 EPPING ROAD, WOLLERT VIC 3570
STAGE 1

SCALE AS SHOWN
VERSION 2
SHEET 18 OF 19
DRAWING No.
21408-01-E-117

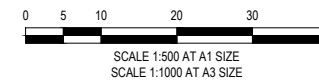
DRAINAGE PIT SCHEDULE AND TYPICAL PIT DETAIL



WARNING
 BEWARE OF UNDERGROUND SERVICES
 THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. A MOCS ENQUIRY ON 1100 MUST BE MADE BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS.

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CONTRACTOR



CONSTRUCTION
 ISSUED FOR CONSTRUCTION

VER	DATE	REVISION	APPD.
2	02/12/2021	NORTHERN INTERFACE ADDED	WJB
1	20/07/2021	CATCHMENT UPDATED	CSH
0	12/01/2020	ISSUED FOR CONSTRUCTION	MIO

TAYLORS
 Urban Development | Infrastructure
 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168
 Tel: 61 3 9501 2800 | Web: taylorso.com.au

DESIGNED: ALP	AUTHORISED: JOY	DRAFTED: BAB
CHECKED: MIO	AUTH. DATE: 04/06/2020	CAD REF: 21408-01-E-800

Coords: MGA Levels: AHD

CITY OF WHITTLESEA
 405 EPPING ROAD, WOLLERT VIC 3570
 STAGE 1
 Q5 CATCHMENT PLAN

SCALE	1:500 @ A1
VERSION	2
SHEET	19 OF 19
DRAWING No.	21408-01-E-800